



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th Ave NE
BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: T-Mobile, applicant Sun Joo Kim, Gensler

LOCATION OF PROPOSAL: 3617 131st Ave SE

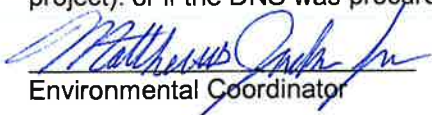
DESCRIPTION OF PROPOSAL: Threshold determination for State Environmental Policy Act (SEPA) to renovate the existing T-Mobile Newport Campus buildings, construct new skybridges, install landscaping, and repave the existing road. The project will include roughly 10,000 cubic yards of cut and fill grading, and approximately 10,738 square feet of new building square footage.

FILE NUMBERS: 18-133359-LM **PLANNER:** Nick Whipple

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- ☐ There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- ☒ This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **8/22/2019**
- ☐ This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5:00 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.


Environmental Coordinator

8/8/2019

Date

OTHERS TO RECEIVE THIS DOCUMENT:

- ☒ State Department of Fish and Wildlife / Stewart.Reinbold@dfw.gov; Christa.Heller@dfw.wa.gov;
- ☒ Army Corps of Engineers Susan.M.Powell@nws02.usace.army.mil
- ☒ Attorney General ecyolvef@atg.wa.gov
- ☒ Muckleshoot Indian Tribe Karen.Walter@muckleshoot.nsn.us; Fisheries.fileroom@muckleshoot.nsn.us



NT SERVICES DEPARTMENT
 :NUE NE
 'A 98009-9012

SEPA Environmental Checklist

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit the Land Use Desk in the Permit Center between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4) or call or email the Land Use Division at 425-452-4188 or landusereview@bellevuewa.gov. Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

Purpose of checklist:

The City of Bellevue uses this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies and reports. Please make complete and accurate answers to these questions to the best of your ability in order to avoid delays.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

PLEASE REMEMBER TO SIGN THE CHECKLIST. Electronic signatures are also acceptable.

Received

JUN 28 2013

Permit Processing

A. Background [\[help\]](#)

1. Name of proposed project, if applicable: [\[help\]](#)
T-Mobile Campus Site Improvements
 2. Name of applicant: [\[help\]](#)
Robert "Trey" Fletcher
 3. Address and phone number of applicant and contact person: [\[help\]](#)
*Robert "Trey" Fletcher
12920 SE 38th Street
Bellevue, WA 98006
206-501-0639*
 4. Date checklist prepared: [\[help\]](#)
October 30, 2018
 5. Agency requesting checklist: [\[help\]](#)
City of Bellevue
 6. Proposed timing or schedule (including phasing, if applicable): [\[help\]](#)
 - o *Terrace Site: Construction Start 2/2019*
 - o *Bridge 1 (Terrace to 2Newport): Construction Start 2/2019*
 - o *Bridge 2 (4 Newport to Newport Tower): Construction Start 3/2019*
 - o *Bridge 3 (Terrace to 4Newport): Construction Start 4/2019*
 - o *Bridge 4 (4Newport to 5Newport): Construction Start 4/2019*
 - o *Campus Site Improvements: Construction Start 10/2019*
 7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. [\[help\]](#)
None anticipated at this time.
 8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. [\[help\]](#)
Geotechnical Report - Adapt Engineering, Inc.
 9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. [\[help\]](#)
None known.
 10. List any government approvals or permits that will be needed for your proposal, if known. [\[help\]](#)
Land Use Exemptions and Construction Permits TBD.
- 19-106789-BM, 18-132402-BW, 19-102788-GB, 18-131327-LJ, 19-105485-BW, 19-115269-BW, and 19-119941-BM
11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.) [\[help\]](#)
The T-Mobile Campus Site Improvements project will enhance the

pedestrian environment and campus accessibility. Improvements include repaving and landscaping of the Front Door area, widening of sidewalks, additions of pedestrian bridges between buildings, and updated signage and navigation devices.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. [\[help\]](#)

3617, 3650, and 3655 131st Avenue SE and 3625 132nd Avenue SE, Bellevue, WA 98006, which are a portion of SE quarter of Sec 9, Twn 24E, Rge 5N, W.M.

B. Environmental Elements [\[help\]](#)

1. Earth [\[help\]](#)

- a. General description of the site: [\[help\]](#) (select one): ☐ Flat, ☐ rolling, ☒ hilly, ☒ steep slopes, ☐ mountainous, other: *Click here to enter text.*

- b. What is the steepest slope on the site (approximate percent slope)? [\[help\]](#)

60%

Note LUC 20.25K.050.A does not regulate steep slopes as critical areas for purposes of the Land Use Code.

- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. [\[help\]](#)

According to the geotechnical report from Adapt Engineering, the general soil surficial conditions consist of Everett very gravelly sandy loam. Per the USDA Natural Resources Conservation Service (NRCS, the soil on the project site generally consists of Everett very gravelly sandy loam (EvC and EvD).

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. [\[help\]](#)

No.

- e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. [\[help\]](#)

Cut and fill activities will typically be the minimum necessary to support structural upgrades, paving, and utility work. Total cut or fill material will be less than 10,000 cubic yards.

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

[\[help\]](#)

Yes. Potential erosion will be addressed by erosion and sediment control plans consistent with the City of Bellevue Environmental Best Management Practices and Clearing and Grading Development Standards.

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? [\[help\]](#)
About 50% of the site will be covered with impervious surfaces after construction. Most of this impervious area is existing.
- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: [\[help\]](#)
Erosion and sediment control plans consistent with the City of Bellevue Environmental Best Management Practices and Clearing and Grading Development Standards will be included in the project plans.

Erosion Control per BCC 23.76

2. Air [\[help\]](#)

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. [\[help\]](#)
Emissions will occur from construction vehicles and equipment.
- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. [\[help\]](#)
The north edge of the project site is within 200-feet of Interstate-90 which is a source of emissions and odor.
- c. Proposed measures to reduce or control emissions or other impacts to air, if any: [\[help\]](#)
Short-term impacts will be addressed with dust and emissions control measures per the City of Bellevue Environmental Best Management Practices and Clearing and Grading Development Standards.

3. Water [\[help\]](#)

a. Surface Water:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. [\[help\]](#)
The nearest streams are Sunset Creek about 670 feet to the east of the site and Richards Creek 380 feet to the west of the site. Both streams discharge to Mercer Slough and then Lake Washington.
- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. [\[help\]](#)
No.

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. [\[help\]](#)

N/A

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. [\[help\]](#)

No.

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. [\[help\]](#)

No, the site does not lie within a 100-year floodplain according to the King County iMap floodplain boundaries.

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. [\[help\]](#)

No.

b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. [\[help\]](#)

No. Water services for the site will continue to be provided by the City of Bellevue Utilities.

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. [\[help\]](#)

N/A

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. [\[help\]](#)

The current design proposes more than 10,000 square feet of new impervious surfaces. As such, flow control will be provided. In general, grading and flow paths will remain the same. As design develops, applicable minimum requirements will be reassessed so that the project meets the 2018 City of Bellevue Surface Water Engineering Standards.

- 2) Could waste materials enter ground or surface waters? If so, generally describe. [\[help\]](#)

No. Sewer services for the site will continue to be

provided by the City of Bellevue Utilities. No waste materials are anticipated to enter ground or surface waters.

- 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe. [\[help\]](#)
No.

- d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any: [\[help\]](#)

The project does not anticipate any long term surface runoff or groundwater impacts. Existing drainage patterns will be maintained. During construction, erosion control measures will be provided consistent with City of Bellevue Environmental Best Management Practices and Clearing and Grading Development Standards. Surface runoff will be detained for the new impervious area.

Impacts minimized per BCC 23.76

4. Plants [\[help\]](#)

- a. Check the types of vegetation found on the site: [\[help\]](#)

☒deciduous tree: alder, maple, aspen, other: Click here to enter text.

☒evergreen tree: fir, cedar, pine, other: Click here to enter text.

☒shrubs

☒grass

☐pasture

☐crop or grain

☐Orchards, vineyards or other permanent crops.

☐wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other: Click here to enter text.

☐water plants: water lily, eelgrass, milfoil, other: Click here to enter text.

☐other types of vegetation: Click here to enter text.

- b. What kind and amount of vegetation will be removed or altered? [\[help\]](#)

Existing landscaping bordering the improved areas will be removed and replanted. The current design for the Central Plaza proposes removal of existing trees and replanting on the steep slope near the Tower building. Existing vegetation on all other steep slopes will remain.

- c. List threatened and endangered species known to be on or near the site. [\[help\]](#)

No threatened or endangered species are known to be on or near the site.

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: [\[help\]](#)

Proposed landscaping will primarily include native plants with non-native plants used sparingly. Existing vegetation on steep

slopes - excluding the Central Plaza - will remain in order to not cause erosion.

- e. List all noxious weeds and invasive species known to be on or near the site. [\[help\]](#)
No noxious weeds or invasive species are known to be on or near the site according to the King County iMap Noxious Weed layer.

5. Animals [\[help\]](#)

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. [\[help\]](#)

Examples include:

birds: ☐hawk, ☐heron, ☐eagle, ☒songbirds, other: *Click here to enter text.*
mammals: ☐deer, ☐bear, ☐elk, ☐beaver, other: *Click here to enter text.*
fish: ☐bass, ☐salmon, ☐trout, ☐herring, ☐shellfish, other: *Click here to enter text.*

- b. List any threatened and endangered species known to be on or near the site. [\[help\]](#)
No threatened or endangered species are known to be on or near the site.
- c. Is the site part of a migration route? If so, explain. [\[help\]](#)
No migration routes are known to be on or near the site according to the King County iMap Environmentally Sensitive Areas layer.
- d. Proposed measures to preserve or enhance wildlife, if any: [\[help\]](#)
No measures are proposed to preserve or enhance wildlife other than increasing native vegetation.
- e. List any invasive animal species known to be on or near the site. [\[help\]](#)
No invasive species are known to be on or near the site.

6. Energy and Natural Resources [\[help\]](#)

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. [\[help\]](#)
NA. The proposed project will not impact the completed project's energy needs.
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. [\[help\]](#)
No.
- c. What kinds of energy conservation features are included in the plans of this proposal?

List other proposed measures to reduce or control energy impacts, if any: [\[help\]](#)
No energy conservation features are proposed at this time; however, the project will use Fitwel's consultation to implement energy conservation features as the designs develop.

7. Environmental Health [\[help\]](#)

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. [\[help\]](#)

No environmental health hazards are anticipated.

- 1) Describe any known or possible contamination at the site from present or past uses.

[\[help\]](#)

None known.

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. [\[help\]](#)

There are no existing hazardous chemicals or conditions on-site. There is an oil transmission pipeline located about 300 feet to the west of the site.

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. [\[help\]](#)

Any toxic or hazardous chemicals brought on site during construction will be safely used and stored per local and state standards.

- 4) Describe special emergency services that might be required. [\[help\]](#)

N/A. Emergency services serving the existing office buildings will not be impacted by the project.

- 5) Proposed measures to reduce or control environmental health hazards, if any: [\[help\]](#)

N/A. No environmental health hazards are anticipated.

b. Noise [\[help\]](#)

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? [\[help\]](#)

Noise associated with Interstate 405, Interstate 90, and Factoria Blvd. SE are not expected to affect the project.

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site. [\[help\]](#)

Short-term construction activity-related noise is anticipated during daylight hours.

Use of any diesel, pneumatic, or gasoline-powered equipment that is not properly muffled or silenced is prohibited.

3) Proposed measures to reduce or control noise impacts, if any: [\[help\]](#)

N/A. Limited hours of construction activity will adequately control noise impacts to be consistent with Bellevue City Code (BCC) 9.18.

Sounds created by construction activity are limited to the hours between 7 a.m. to 6 p.m. on weekdays and 9 a.m. and 6 p.m. on Saturdays and prohibited on Sundays and other legal holidays (See BCC 9.18)

8. Land and Shoreline Use [\[help\]](#)

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. [\[help\]](#)

The project site is a corporate campus comprised of office buildings and parking. To the west of the site is a strip mall. To the north is I-90. To the east are commercial and hospitality buildings. To the south is a residential neighborhood and an elementary school. No adverse impacts to adjacent properties are anticipated by the proposed site improvements.

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? [\[help\]](#)

The site is developed with an existing office buildings and not designated as agricultural or forest land of long-term commercial significance nor designated as resource lands. No farmland or forest land tax status will be converted to nonfarm or nonforest use.

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how: [\[help\]](#)

No. The site is not adjacent to any farm or forest land or uses.

c. Describe any structures on the site. [\[help\]](#)

There are five existing office buildings. The total footprint is approximately 214,400 SF.

d. Will any structures be demolished? If so, what? [\[help\]](#)

No.

e. What is the current zoning classification of the site? [\[help\]](#)

The site is currently zoned as Factoria Land Use District 3 (F-3).

f. What is the current comprehensive plan designation of the site? [\[help\]](#)

The site is currently designated as General Business /Community Business in the Factoria Subarea of the comprehensive plan.

Comprehensive Plan Designation is Office and Limited Business.

- g. If applicable, what is the current shoreline master program designation of the site? [\[help\]](#)
N/A. The site is not located within the shoreline jurisdiction.
- h. Has any part of the site been classified as a critical area by the city or county? If so, specify. [\[help\]](#)
No. Per the City of Bellevue Municipal Code 20.25K.050, steep slopes and landslide hazard areas within the F-3 district shall not be considered critical areas. There are no other critical areas present on-site.
- i. Approximately how many people would reside or work in the completed project? [\[help\]](#)
About 4,800 people work at the campus. No change to the maximum number of people working in the existing office building is anticipated. No residences are proposed.
- j. Approximately how many people would the completed project displace? [\[help\]](#)
No people will be displaced.
- k. Proposed measures to avoid or reduce displacement impacts, if any: [\[help\]](#)
No displacement is anticipated.
- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: [\[help\]](#)
N/A. The proposed site improvements will not change the existing or projected land uses and plans.
- m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any: [\[help\]](#)
N/A. There are no nearby agricultural or forest land.

9. Housing [\[help\]](#)

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. [\[help\]](#)
N/A. No residences are proposed.
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. [\[help\]](#)
N/A. No residences are proposed or eliminated.
- c. Proposed measures to reduce or control housing impacts, if any: [\[help\]](#)
N/A. No residences are proposed or eliminated.

10. Aesthetics [\[help\]](#)

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? [\[help\]](#)
The tallest height of the tallest bridge will not exceed 70

feet. The principal exterior building material will be metal panel.

- b. What views in the immediate vicinity would be altered or obstructed? [\[help\]](#)

No protected views will be altered or obstructed.

- c. Proposed measures to reduce or control aesthetic impacts, if any: [\[help\]](#)

N/A. The project will be consistent with the applicable development standards of the City's LUC, Environmental Best Management Practices, and Clearing and Grading Development Standards.

11. Light and Glare [\[help\]](#)

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur? [\[help\]](#)

No additional light or glare is anticipated by the improvements; however, a lighting study will be prepared as part of the design.

- b. Could light or glare from the finished project be a safety hazard or interfere with views? [\[help\]](#)

No additional light or glare is anticipated by the improvements; however, a lighting study will be prepared as part of the design. No light or glare from the project is anticipated to be a safety hazard or interfere with views.

- c. What existing off-site sources of light or glare may affect your proposal? [\[help\]](#)

No off-site sources of light or glare are anticipated to affect our proposal.

- d. Proposed measures to reduce or control light and glare impacts, if any: [\[help\]](#)

N/A. No light and glare impacts are anticipated.

12. Recreation [\[help\]](#)

- a. What designated and informal recreational opportunities are in the immediate vicinity? [\[help\]](#)

There are no designated or informal recreational opportunities in the immediate vicinity. The closest park (Sunset Ravine Greenbelt) is approximately 0.1 miles east of the site.

- b. Would the proposed project displace any existing recreational uses? If so, describe. [\[help\]](#)

No recreational uses will be displaced.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: [\[help\]](#)

N/A. No recreation impacts are anticipated. No residences are proposed.

13. Historic and cultural preservation [\[help\]](#)

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe. [\[help\]](#)
No buildings, structures, or sites located on or near the project site are listed or eligible to be listed on any preservation register per the WA State Department of Preservation (DAHP)'s WISAARD mapping system.
- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. [\[help\]](#)
Per the DAHP's WISAARD mapping system, no landmarks, features, evidence, artifacts, or areas of Indian, historic, or cultural use, occupation, or importance are on-site. The project is located on a previously developed site.
- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. [\[help\]](#)
In addition to the DAHP's WISAARD mapping system, potential impacts to cultural and historic resources were assessed based on the scope of work on a previously developed site. Specifically, the scope of work is limited to mobility and transit improvements within the existing hardscape and landscape areas.
- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required. [\[help\]](#)
N/A. Cultural or historic resources are not present on the site.

14. Transportation [\[help\]](#)

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. [\[help\]](#)
Access to the site will continue to be from SE 36th Street, 132nd Avenue SE, and SE 38th Street.
- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? [\[help\]](#)
Bus stops for King County Metro Routes 212, 217, and 245 traveling eastbound are located on SE 36th St at the north end of the site.

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? [\[help\]](#)
No additional parking spaces are proposed; however, as design develops some existing parking spaces may be eliminated.
- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). [\[help\]](#)
Widened sidewalks and removal of the median on 131st Ave SE, a private road, are proposed. No ROW dedication or improvements are proposed.
- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. [\[help\]](#)
N/A. The project does not use nor is in the vicinity of water, rail, and air transportation.
- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates? [\[help\]](#)
N/A. No changes in the number of vehicular trips per day are anticipated.
- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe. [\[help\]](#)
No, the site is not in the vicinity of agricultural or forest lands nor in the vicinity of the roads or streets used primarily for agricultural or forest product transport.
- h. Proposed measures to reduce or control transportation impacts, if any: [\[help\]](#)
N/A. No transportation impacts are anticipated based on the scope of work.

15. Public Services [\[help\]](#)

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. [\[help\]](#)
No increased need of public services are anticipated based on the scope of work.
- b. Proposed measures to reduce or control direct impacts on public services, if any. [\[help\]](#)
N/A. No impacts on public services is anticipated.

16. Utilities [\[help\]](#)

- a. Circle utilities currently available at the site: [\[help\]](#)
electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other

Click here to enter text.

- c. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. [\[help\]](#)

No improvements to utilities are proposed for the project.

C. Signature [\[help\]](#)

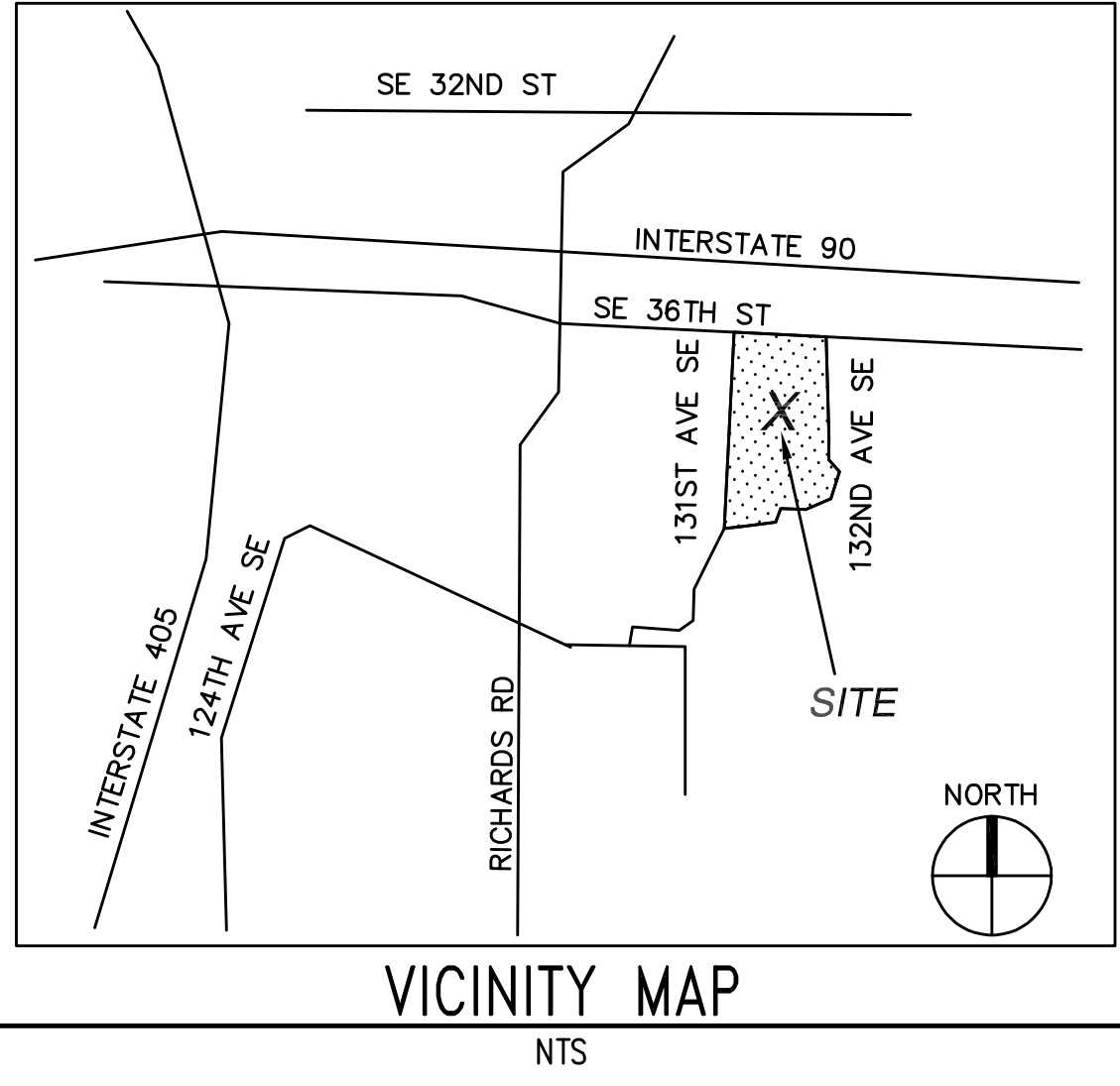
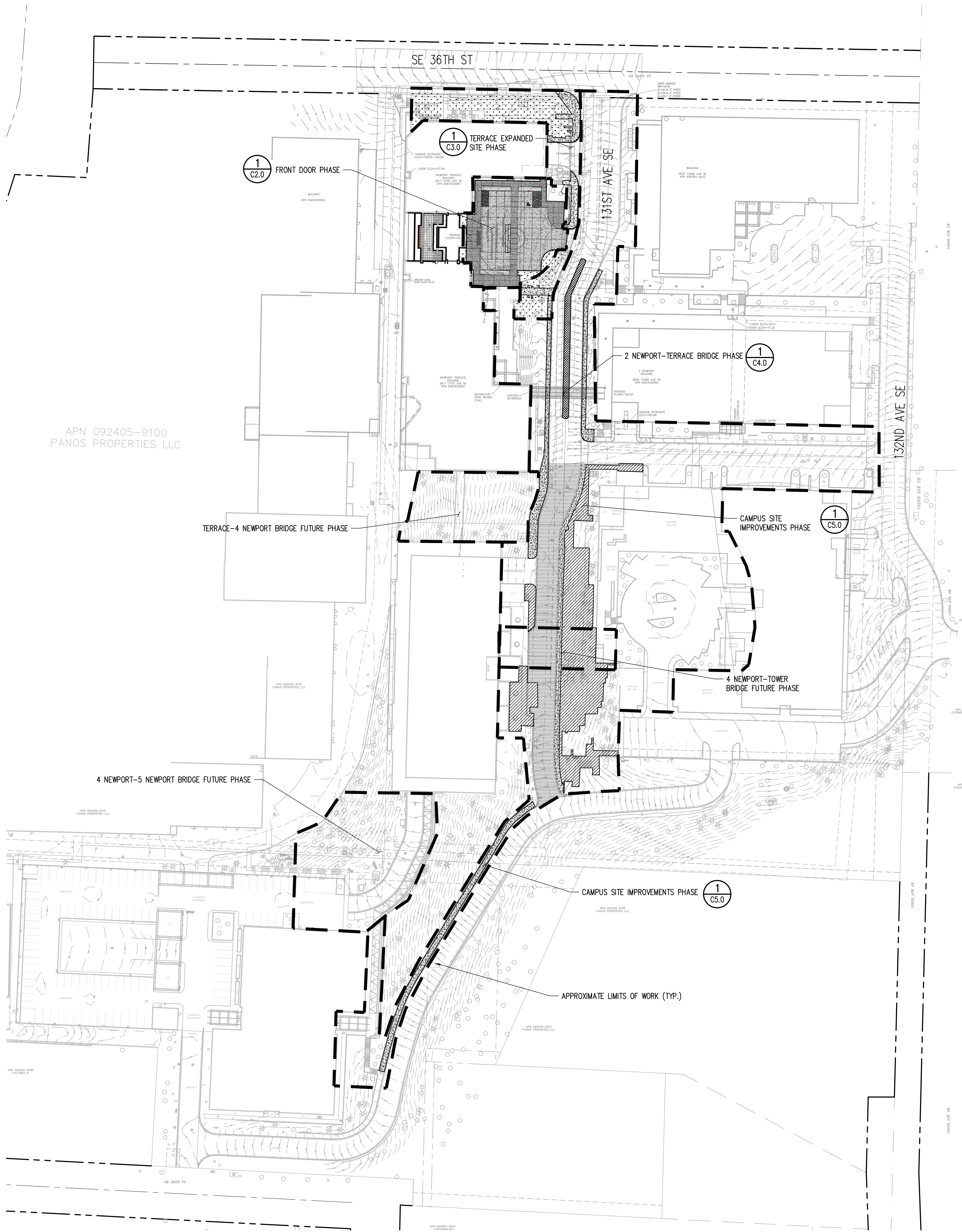
The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: 

Name of signee: *Katarina Kubiniec*

Position and Agency/Organization: *Civil Design Engineer/KPFF Consulting Engineers*

Date Submitted: *May 17, 2019*



NOTES

- EXISTING IMPROVEMENTS NOT INDICATED FOR REMOVAL SHALL BE PROTECTED IN PLACE.
- TREE REMOVAL/PROTECTION PER LANDSCAPE.
- CONTRACTOR TO COORDINATE WITH T-MOBILE FACILITIES FOR ANY TEMPORARY PEDESTRIAN OR VEHICULAR REROUTES FOR LOGISTICS REGARDING ROAD OR SIDEWALK CLOSURES.
- PROJECT LIMITS SHOWN ARE APPROXIMATE. REFER TO INDIVIDUAL PROJECT PLANS FOR PROJECT LIMITS.
- REFER TO SHEETS C0.20-C0.50 FOR DETAILED PHASE INFORMATION.

LEGAL DESCRIPTION

* TITLE INFORMATION ISSUED BY OLD REPUBLIC TITLE, LTD. ORDER NO. 5207152047, EFFECTIVE DATE NOVEMBER 9, 2017 AT 8:00 AM

THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF KING, CITY OF BELLEVUE, STATE OF WASHINGTON, AND IS DESCRIBED AS FOLLOWS:

NEWPORT - TAX LOT 606763-0020

LOT 2, NEWPORT CORPORATE CENTER BINDING SITE PLAN AS RECORDED IN VOLUME 244 OF PLATS, PAGES 62-71, UNDER KING COUNTY RECORDER'S NUMBER 20071211001799, RECORDS OF KING COUNTY, WASHINGTON.

NEWPORT TOWER - TAX LOT 606763-0030

LOT 3, NEWPORT CORPORATE CENTER BINDING SITE PLAN AS RECORDED IN VOLUME 244 OF PLATS, PAGES 62-71, UNDER KING COUNTY RECORDER'S NUMBER 20071211001799, RECORDS OF KING COUNTY, WASHINGTON.

NEWPORT TOWER - TAX LOT 606763-0040

LOT 4, NEWPORT CORPORATE CENTER BINDING SITE PLAN AS RECORDED IN VOLUME 244 OF PLATS, PAGES 62-71, UNDER KING COUNTY RECORDER'S NUMBER 20071211001799, RECORDS OF KING COUNTY, WASHINGTON.

FIVE NEWPORT - TAX LOT 606763-0050

LOT 5, NEWPORT CORPORATE CENTER BINDING SITE PLAN AS RECORDED IN VOLUME 244 OF PLATS, PAGES 62-71, UNDER KING COUNTY RECORDER'S NUMBER 20071211001799, RECORDS OF KING COUNTY, WASHINGTON.

NEWPORT TERRACE - TAX LOT 606763-0060

LOT 6, NEWPORT CORPORATE CENTER BINDING SITE PLAN AS RECORDED IN VOLUME 244 OF PLATS, PAGES 62-71, UNDER KING COUNTY RECORDER'S NUMBER 20071211001799, RECORDS OF KING COUNTY, WASHINGTON.

ALL SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON

SITE INFORMATION

TAX LOT NUMBER 606763-0020-07, 606763-0030-05
606763-0030-06, 606763-0040-03
606763-0050-00, 606763-0060-08

SITE ADDRESS 3625 132ND AVE SE
BELLEVUE, WA 98006

ZONING F3 (JURISDICTION-BELLEVUE)

NOTE:
ALL ELEVATIONS SHOWN ARE ABOVE MEAN SEA LEVEL (AMSL) AND ARE REFERENCED TO THE NAVD88 DATUM.

SURVEY LEGEND

---	SUBJECT BOUNDARY LINE
---	RIGHT-OF-WAY CENTERLINE
---	RIGHT-OF-WAY LINE
---	ADJACENT BOUNDARY LINE
---	SECTIONAL BREAKDOWN LINE
OP	OVERHEAD POWER LINE
UP	BURIED POWER LINE
G	GAS LINE
OT	OVERHEAD TELEPHONE LINE
UT	BURIED TELEPHONE LINE
W	WATER LINE
SS	SANITARY SEWER
SD	STORM DRAIN
---	DITCH LINE/FLOW LINE
---	ROCK RETAINING WALL
---	VEGETATION LINE
o	CHAIN LINK FENCE
o	WOOD FENCE
x	BARBED WIRE/WIRE FENCE
△	TRANSFORMER
⊕	FIRE HYDRANT
⊕	GATE VALVE
⊕	WATER METER
⊕	FIRE STAND PIPE
⊕	CATCH BASIN, TYPE I
⊕	CATCH BASIN, TYPE II
⊕	SIGN
⊕	BOLLARD
⊕	MAIL BOX
⊕	SPOT ELEVATION
⊕	DECIDUOUS TREE
⊕	CONIFEROUS TREE
⊕	CORRESPONDS WITH ITEM NUMBER IN 'SCHEDULE B' OF TITLE REPORT - SEE SV2

PROPOSED LEGEND

---	LIMITS OF WORK
---	PROPERTY LINE
---	GRIND AND OVERLAY
---	REMOVED AND REPLACED SIDEWALK
---	NEW HARDSCAPE
---	DEMOLITION

T-MOBILE

3617 131ST. AVE SE, BELLEVUE WA 98006

kpff

Gensler

1200 Sixth Avenue
Suite 500
Seattle, WA 98101
United States

Tel 206.654.2100
Fax 206.654.2121

Jill Cody
1511 Third Ave
Suite 700
Seattle, WA 98101
Tel 206.682.1720

Andy Ewing
1601 Fifth Ave
Suite 1600
Seattle, WA 98101
Tel 206.622.5822

Evolution Architecture

Ralph Allen
6262 Ellis Ave S.
Seattle, WA 98108
Tel 206.588.1282

Brumbaugh & Associates
Landscape Architecture

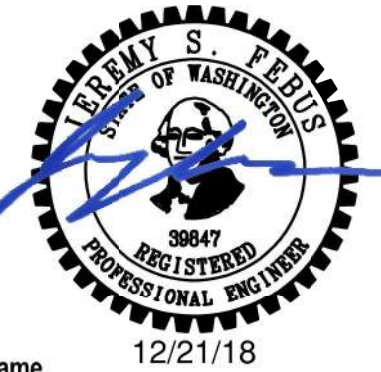
Chris McBride
600 N 85th Street
Suite 102
Seattle, WA 98103
Tel 206.782.3650

KPFF CONSULTING ENGINEERS

JEREMY FEBUS
1601 Fifth Ave
Suite 1600
Seattle, WA 98101
Tel 206.522.5822

△ Date Description
12/21/2018 1st Submittal

Seal / Signature



Project Name

CAMPUS SITE
IMPROVEMENTS

Project Number

1800089

Description

SITE PLAN B - OVERVIEW

Scale

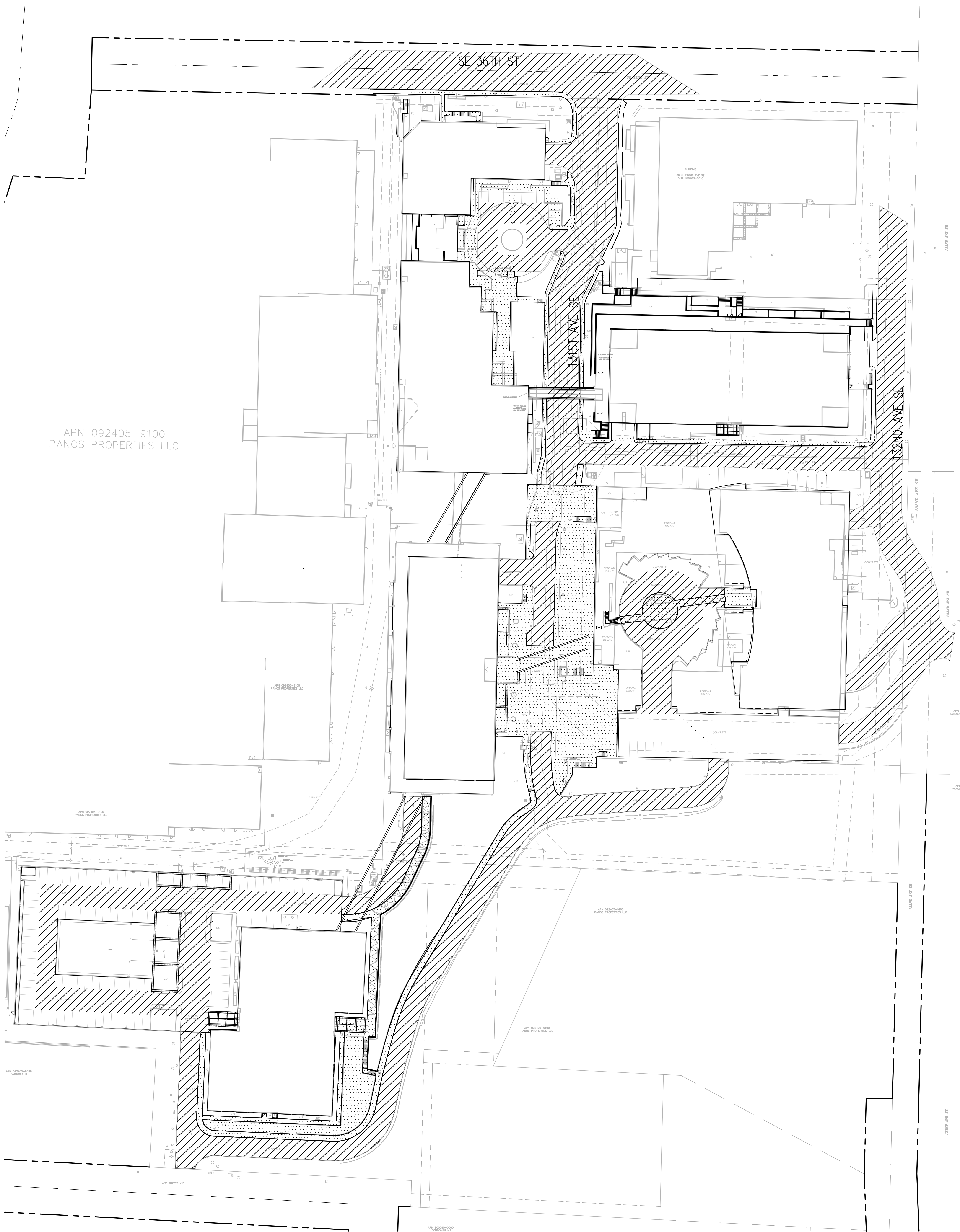
0 25 50 100
1 inch = 50 feet



C1.0

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Dec 21, 2018 - 5:05am Jack Z:\800001-1800089\1800089 - Mobile\CAD\Design\Preliminary_SEPA_submittal\C11_TNC_Circ.dwg



APN 092405-9100
PANOS PROPERTIES LLC

NOTES

- EXISTING IMPROVEMENTS NOT INDICATED FOR REMOVAL SHALL BE PROTECTED IN PLACE.
- TREE REMOVAL/PROTECTION PER LANDSCAPE.
- CONTRACTOR TO COORDINATE WITH T-MOBILE FACILITIES FOR ANY TEMPORARY PEDESTRIAN OR VEHICULAR REROUTES FOR LOGISTICS REGARDING ROAD OR SIDEWALK CLOSURES.
- PROJECT LIMITS SHOWN ARE APPROXIMATE. REFER TO INDIVIDUAL PROJECT PLANS FOR PROJECT LIMITS.

PROPOSED LEGEND

- LIMITS OF WORK
- PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION

T-MOBILE
3617 131ST. AVE SE, BELLEVUE WA 98006

kpff
Gensler
1200 Sixth Avenue
Suite 500
Seattle, WA 98101
United States
Tel 206.654.2100
Fax 206.654.2121

Jill Cody
1511 Third Ave
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Chris McBride
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Seattle, WA 98103
Tel 206.782.3650

KPFF CONSULTING ENGINEERS
JEREMY FEBUS
1601 Fifth Ave
Suite 1600
Seattle, WA 98101
Tel 206.522.9822

Date	Description
12/21/2018	1st Submittal

Seal / Signature

Project Name

CAMPUS SITE IMPROVEMENTS

Project Number

1800089

Description

SITE PLAN B - VEHICULAR AND PEDESTRIAN CIRCULATION

Scale

0 25 50 100
1 inch = 50 feet

NORTH

C1.1

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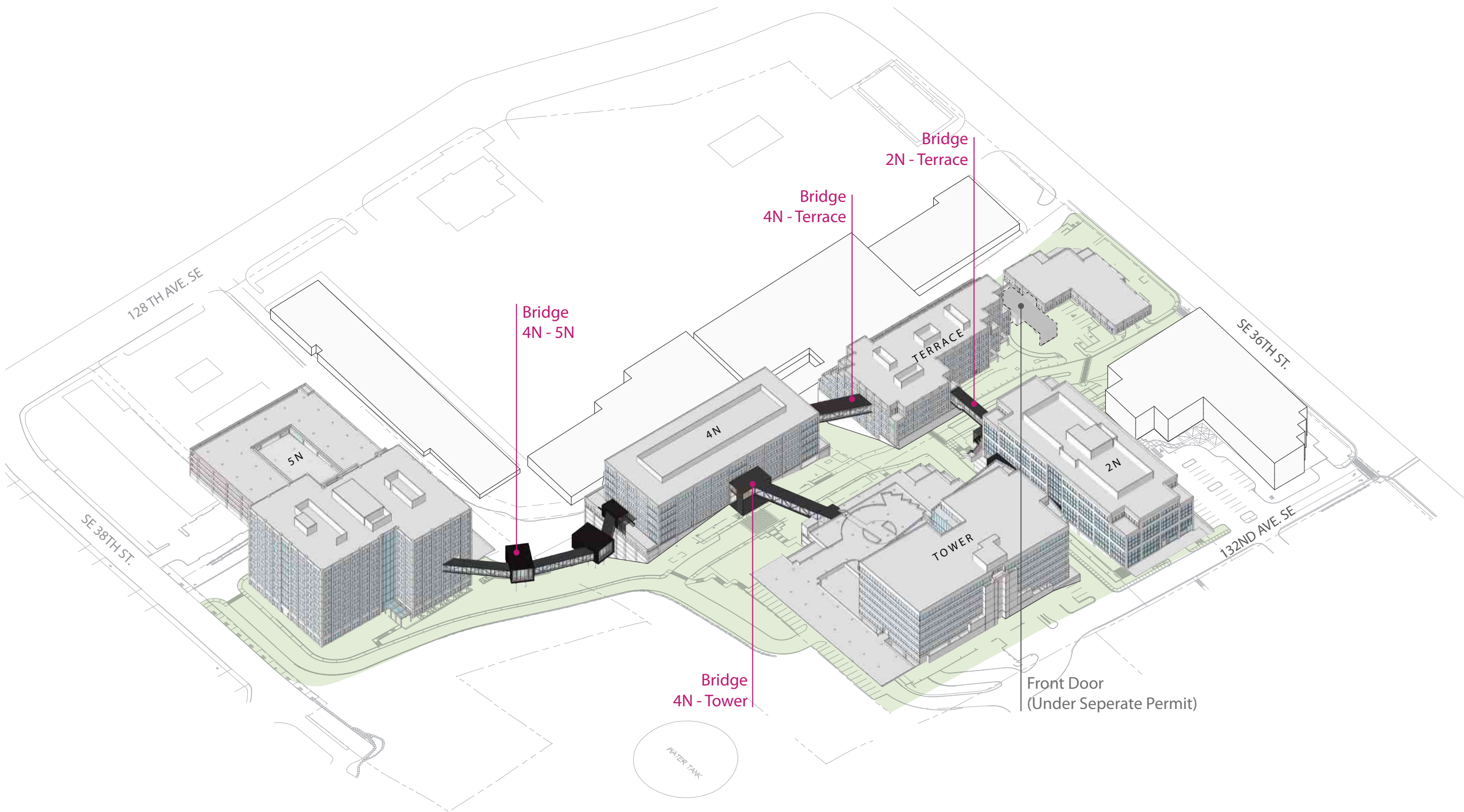
T-Mobile

SKYBRIDGE BRIDGE
LAND USE EXEMPTION

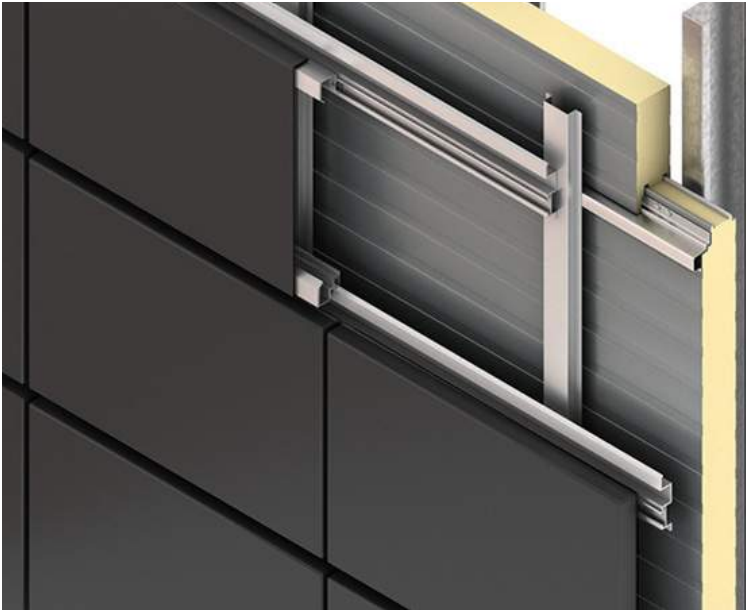
10.26.18



CAMPUS CONNECTION DIAGRAM



MATERIAL PALETTE



M-1 METAL PANEL
BASIS OF DESIGN ALUCOBOND ACM PANEL
CUSTOM COLOR: CHARCOAL



M-2 EXTRUDED ALUMINUM FIN
SIZE VARIES, REFER TO DRAWINGS



GL-1 1" THICK INSULATED VISION GLASS
LOW E COATING TYP. UON



W-1 EXTERIOR WOOD PANEL RAIN-
SCREEN SYSTEM



R-1 SEDUM GREEN ROOF SYSTEM
OVER METAL DECK

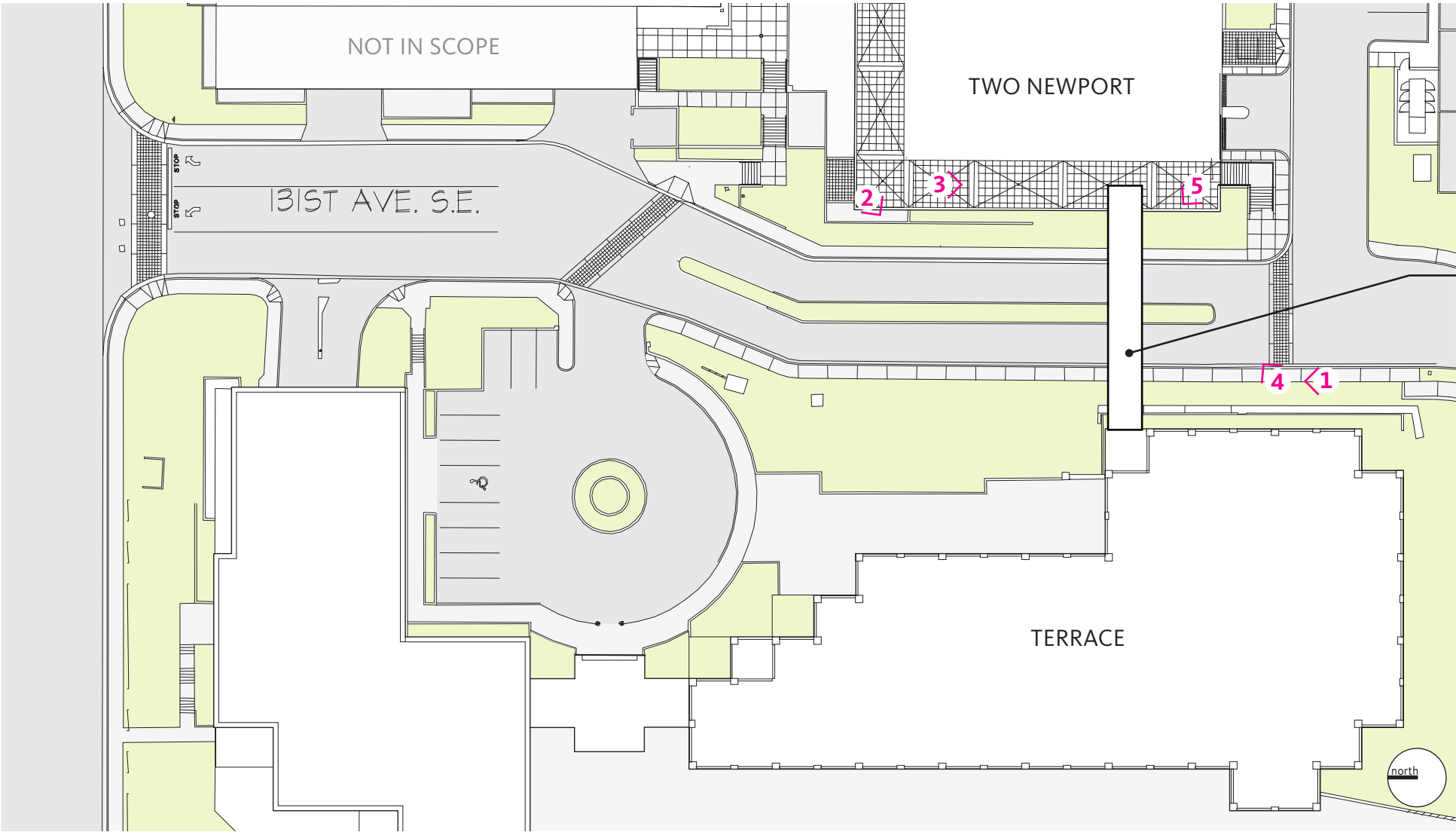


R-2 STANDING SEAM METAL ROOF
& SIDING



R-3 ALUMINUM AND GLASS CANOPY

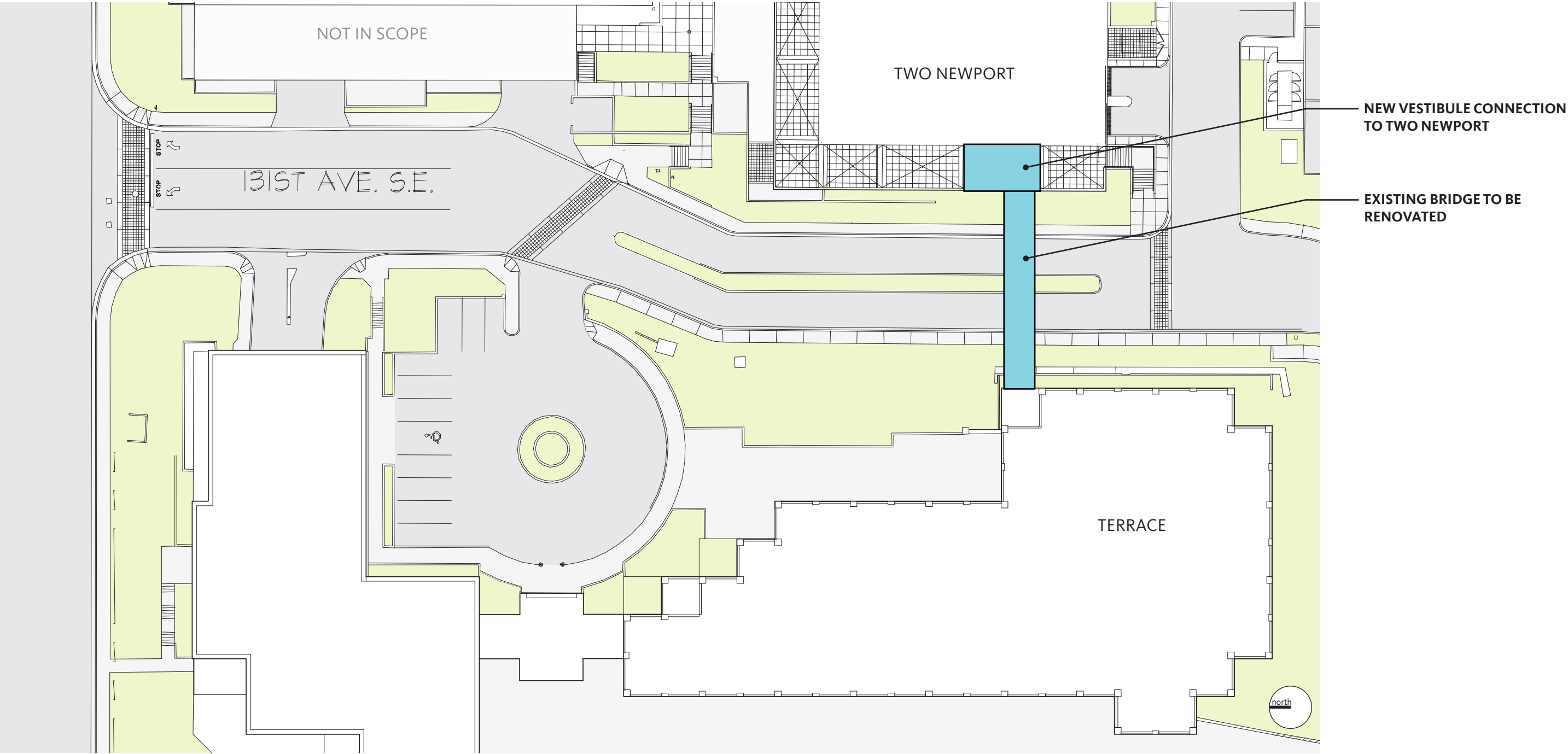
2N - TERRACE BRIDGE | EXISTING CONDITIONS



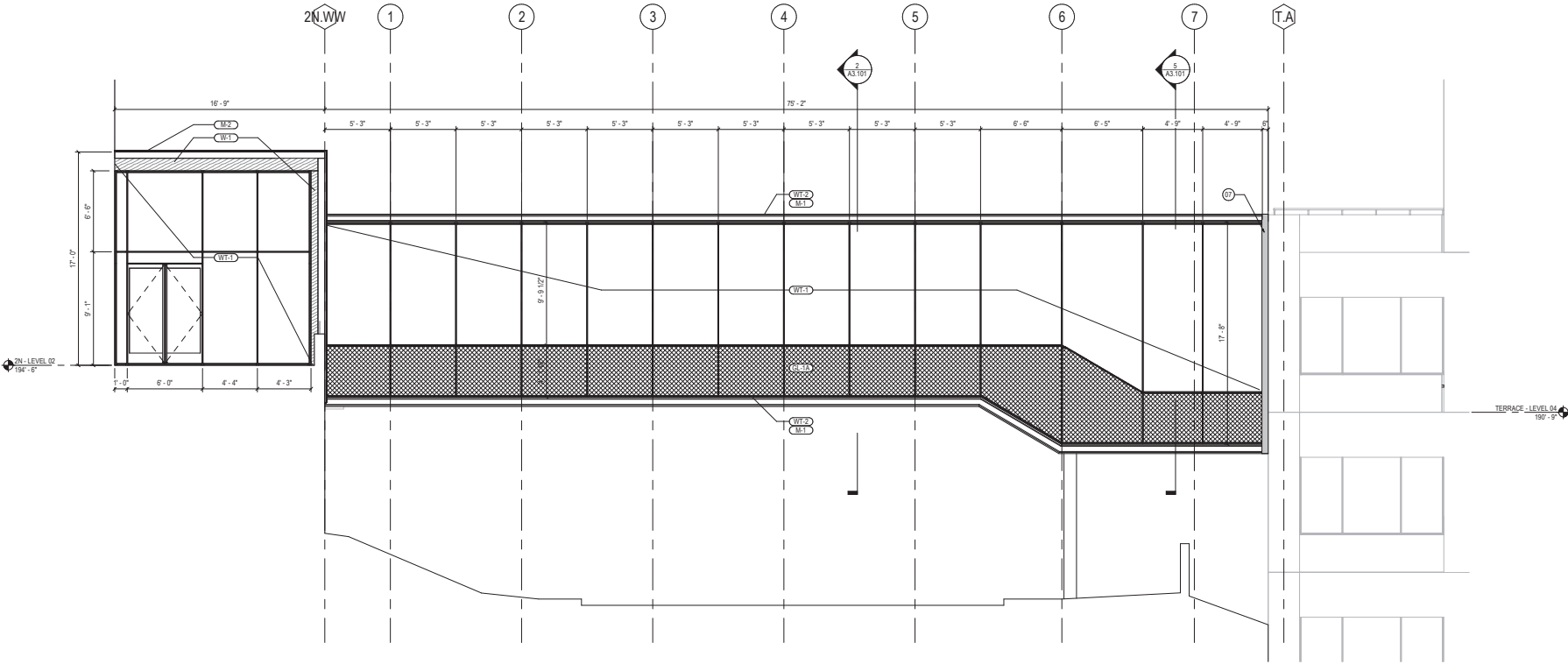
EXISTING BRIDGE TO BE RENOVATED



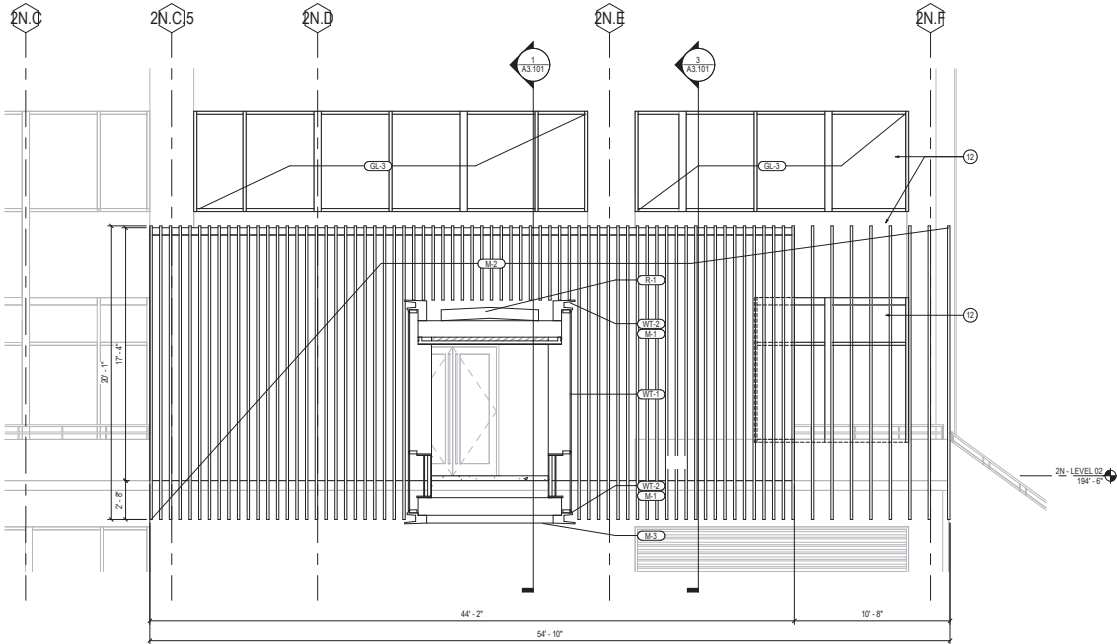
2N - TERRACE BRIDGE | NEW CONSTRUCTION



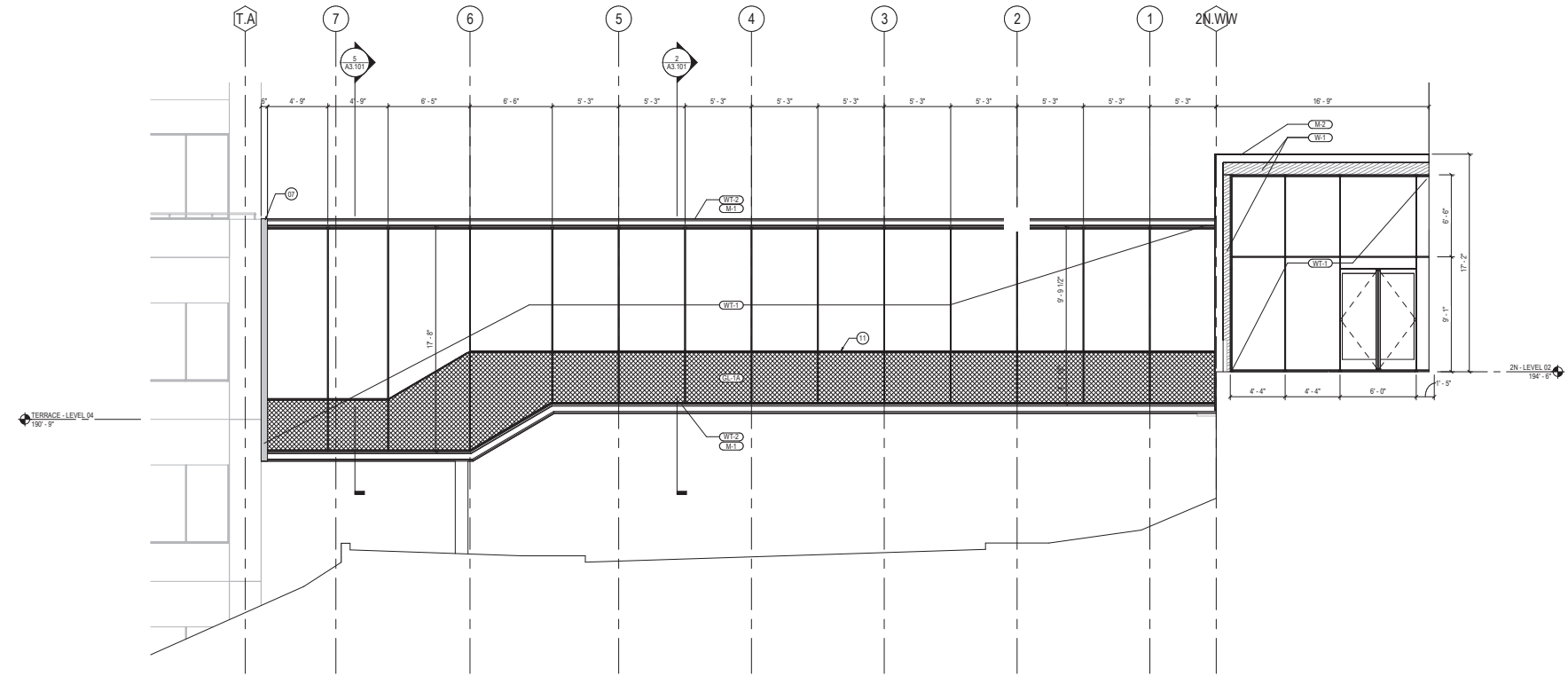
2N - TERRACE BRIDGE | ELEVATIONS



01 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



01 WEST ELEVATION
SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

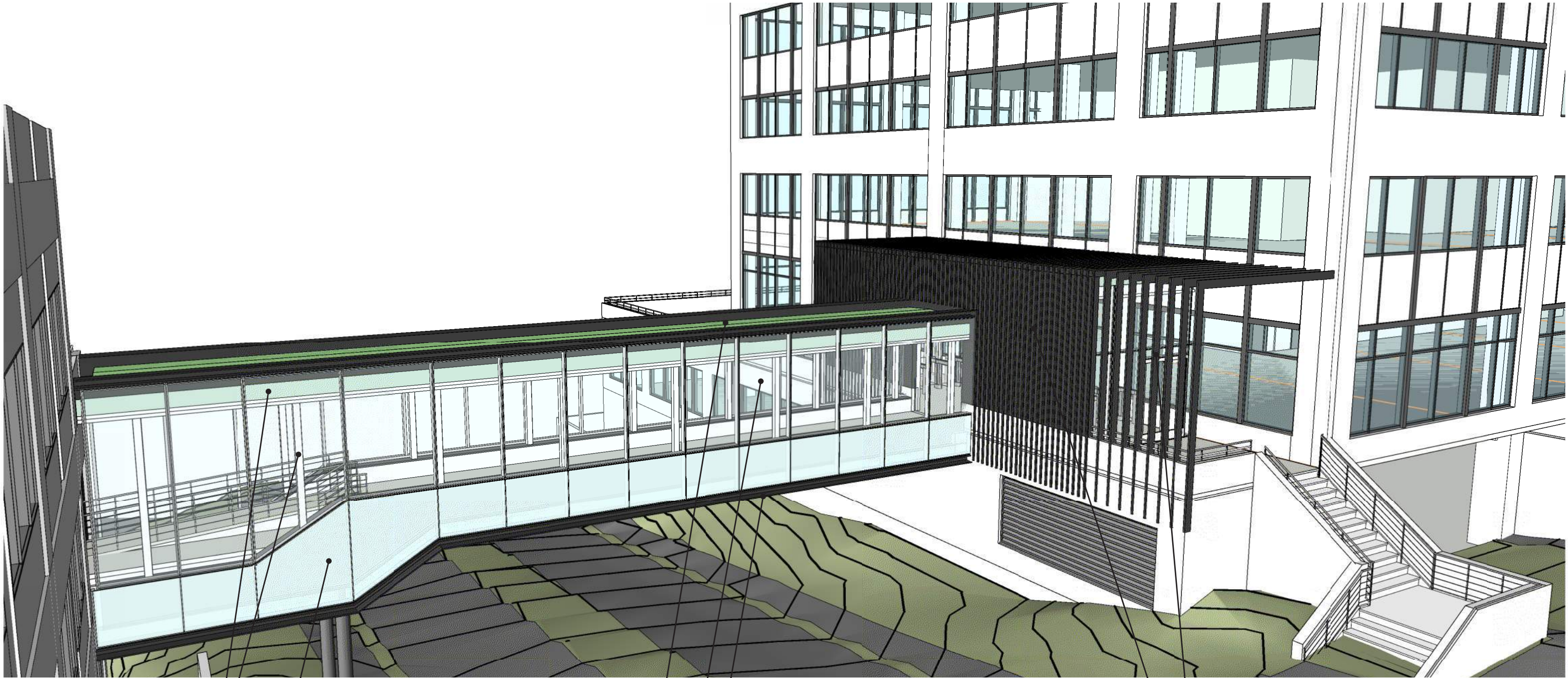
WALL TYPE LEGEND

- | | |
|--|---|
| GL-1 1" THICK INSULATED VISION GLASS
LOW E COATING TYP. UON | WT-1 4 SIDED SSG CURTAINWALL SYSTEM
BASIS OF DESIGN: 2-1/2" X 7-1/2" KAWNEER
CLEARWALL EXTRUDED ALUMINUM
CURTAINWALL SYSTEM (SSI) |
| GL-1A GL-1 + SHADOWBOX | WT-2 METAL PANEL RAINSCREEN WALL SYSTEM
BASIS OF DESIGN: ALUCOBOND SYSTEM II
RAINSREEN |
| GL-3 EXISTING GLASS | WT-3 EXTERIOR WOOD PANEL RAINSCREEN
WALLSYSTEM |
| M-1 METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: TBD | R-1 EXTENSIVE GREEN ROOF
BASIS OF DESIGN:
HYDROTECH GARDENROOF ASSEMBLY WITH
FLUID APPLID MONOLITHIC WATERPROOFING
MEMBRANE. |
| M-2 EXTRUDED ALUMINUM FIN. 2"X6" TYP, UON,
REFER TO DRAWINGS FOR MORE INFO | R-2 STANDING SEAM METAL ROOF |
| M-3 SUSPENDED METAL SOFFIT CEILING | R-3 CUSTOM ALUMINUM AND GLASS CANOPY |
| W-1 SOLID HARDWOOD T&G SIDING
SIZE AND SPECIES: TBD | |

2N - TERRACE BRIDGE | RENDERING



2N - TERRACE BRIDGE | 3D VIEWS



NEW CANOPY STRUCTURE, TYP
NEW STEEL COLUMNS AND ROOF
STRUCTURE

SHADOW BOX
EXISTING STRUCTURE TO RE-
MAIN BEHIND SHADOW BOX

NEW GREEN ROOF
EXTENSIVE SEDUM GREEN ROOF SYSTEM

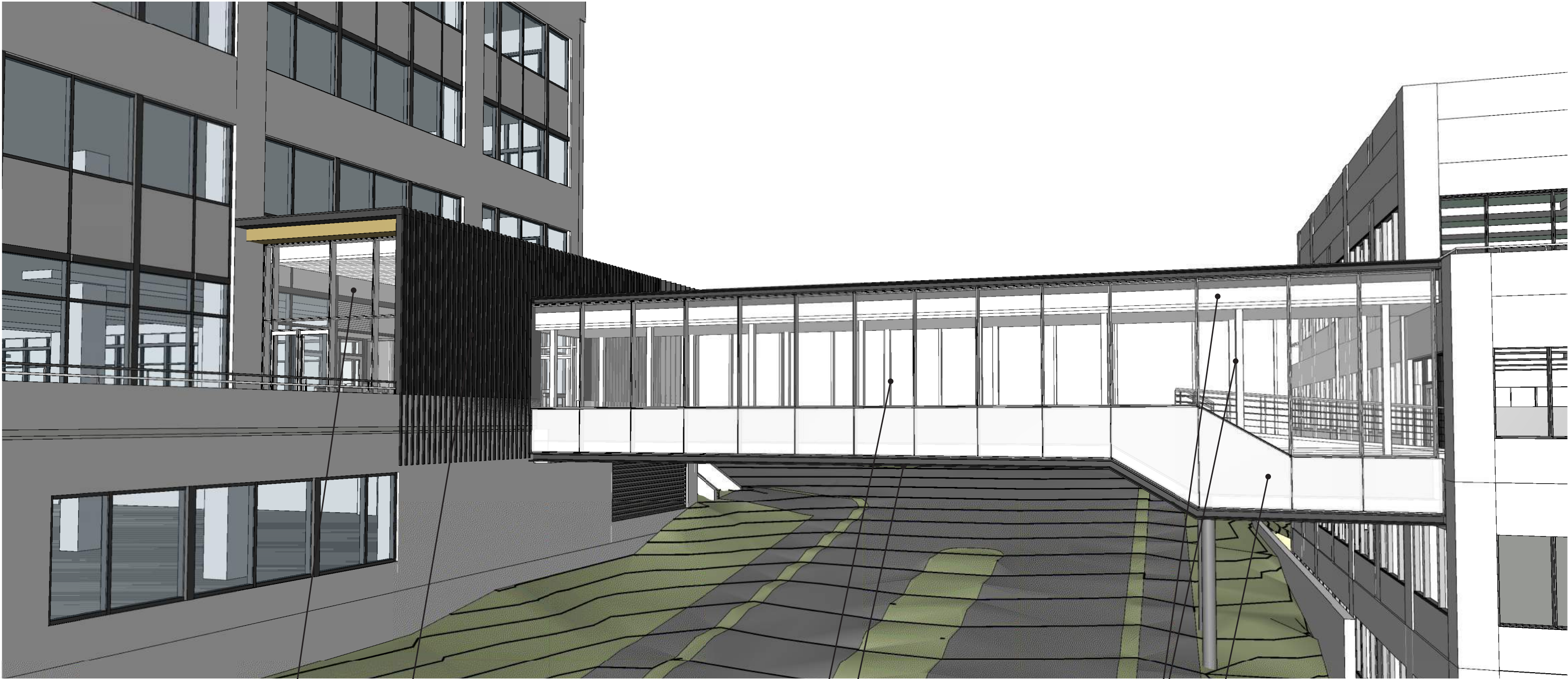
NEW CURTAIN WALL
STRUCTURAL SILICONE GLAZE SOLARBAN
60 LOW-E INSULATING GLASS UNIT

NEW SOFFIT
NEW SUSPENDED METAL SOFFIT
CEILING

NEW CANOPY STRUCTURE, TYP
STEEL FRAMED FIN STRUCTURE -
EXTRUDED ALUMINUM FINNS, GLASS
ROOF STRUCTURE

NEW VESTIBULE STRUCTURE
NEW VESTIBULE STRUCTURE CONNECTING
BRIDGE TO EXISTING 2 NEWPORT BUILDING.

2N - TERRACE BRIDGE | 3D VIEWS



NEW CURTAIN WALL
STRUCTURAL SILICONE GLAZE
SOLARBAN 60 LOW-E INSULATING
GLASS UNIT

NEW VESTIBULE STRUCTURE
NEW VESTIBULE STRUCTURE CONNECTING
BRIDGE TO EXISTING 2 NEWPORT BUILDING.

NEW CURTAIN WALL
STRUCTURAL SILICONE GLAZE SOLARBAN
60 LOW-E INSULATING GLASS UNIT

NEW SOFFIT
NEW SUSPENDED METAL SOFFIT CEILING

NEW CANOPY STRUCTURE, TYP
NEW STEEL COLUMNS AND ROOF
STRUCTURE

SHADOW BOX
EXISTING STRUCTURE TO RE-
MAIN BEHIND SHADOW BOX

2N - TERRACE BRIDGE | 3D VIEWS

NEW ENTRY VESTIBULE

METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: CHARCOAL

EXTERIOR WOOD PANEL RAINSCREEN SYSTEM

STRUCTURAL SILICONE GLAZE SOLARBAN
60 LOW-E INSULATING GLASS UNIT



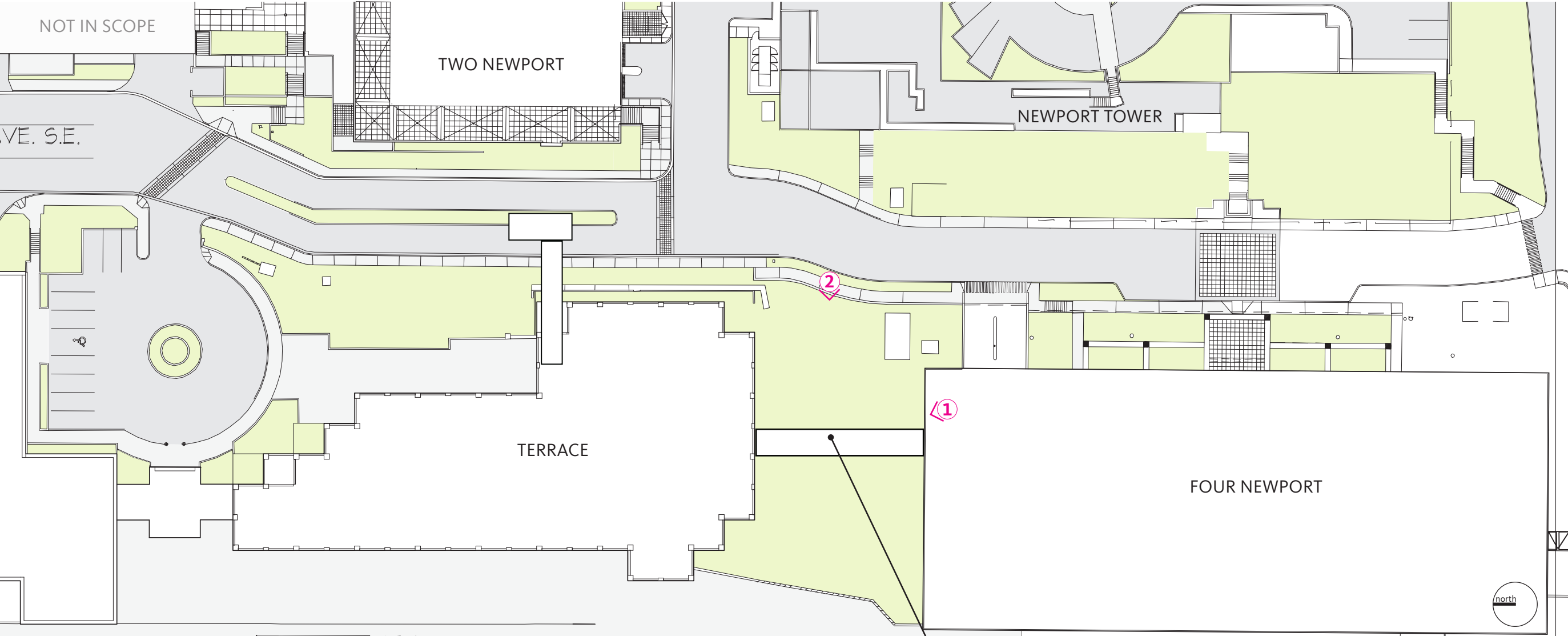
NEW CANOPY STRUCTURE, TYP
STEEL FRAMED FIN STRUCTURE -
EXTRUDED ALUMINUM FINNS, GLASS
ROOF STRUCTURE

CURTAIN WALL
STRUCTURAL SILICONE GLAZE SOLARBAN
60 LOW-E INSULATING GLASS UNIT

PLANTER
NEW CONTINUOUS STEEL PLANTER BOX
AND WOOD BENCH AROUND PERIMETER.

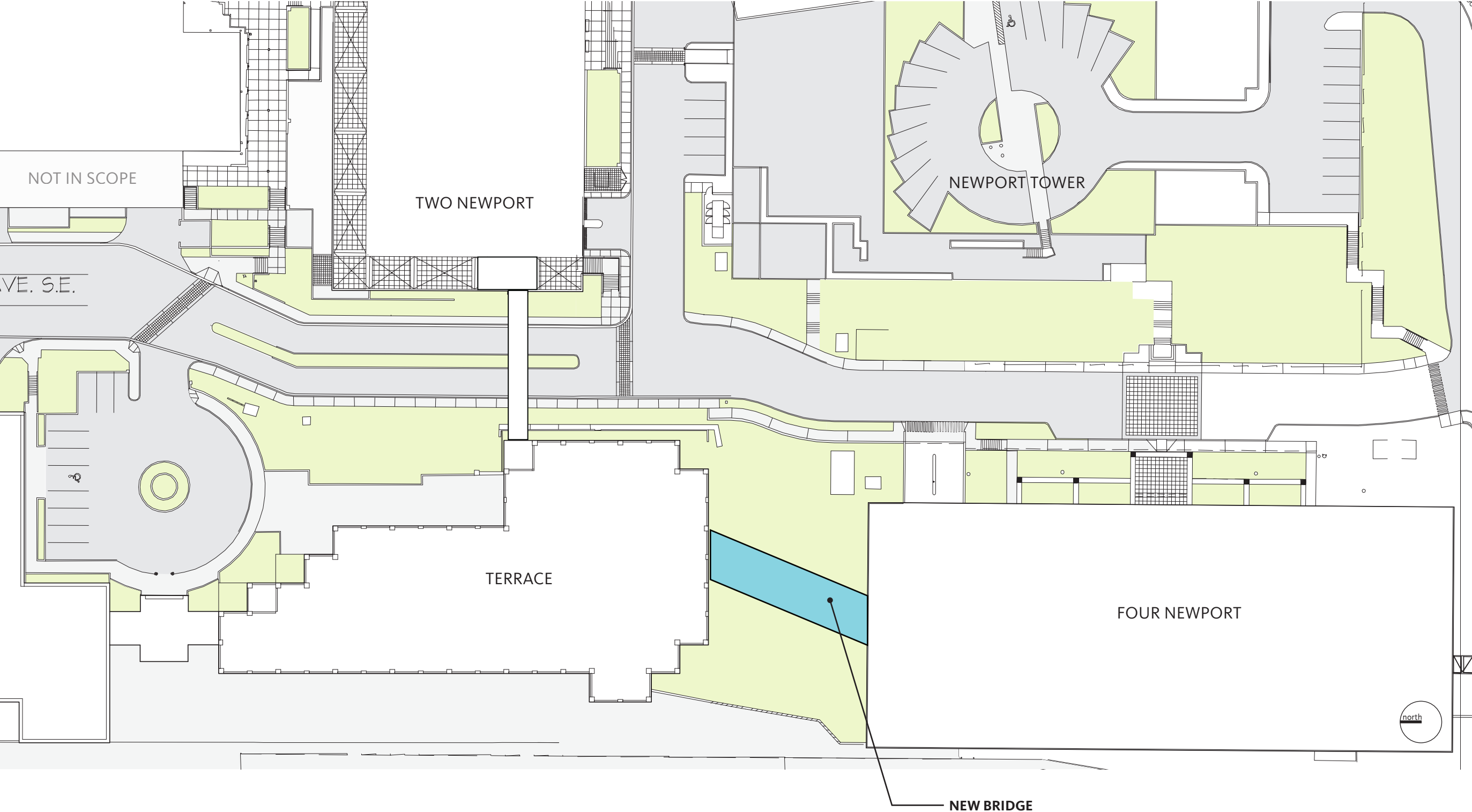


4N - TERRACE BRIDGE | EXISTING CONDITIONS

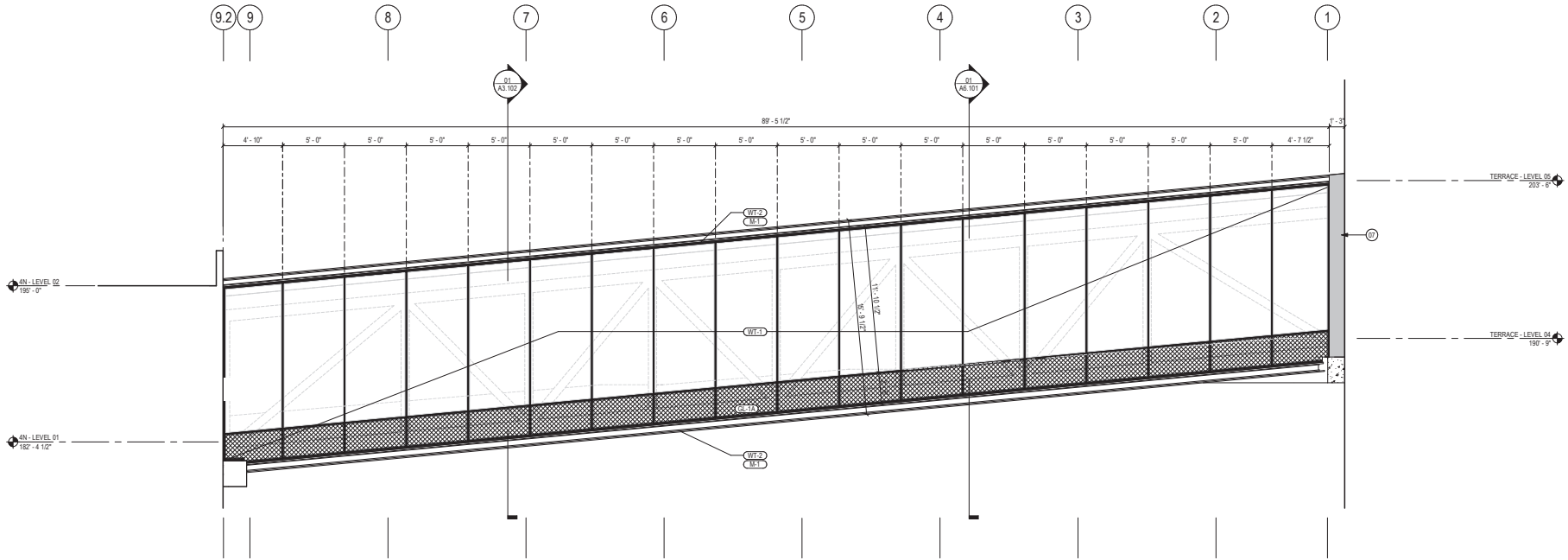


EXISTING BRIDGE TO BE REMOVED

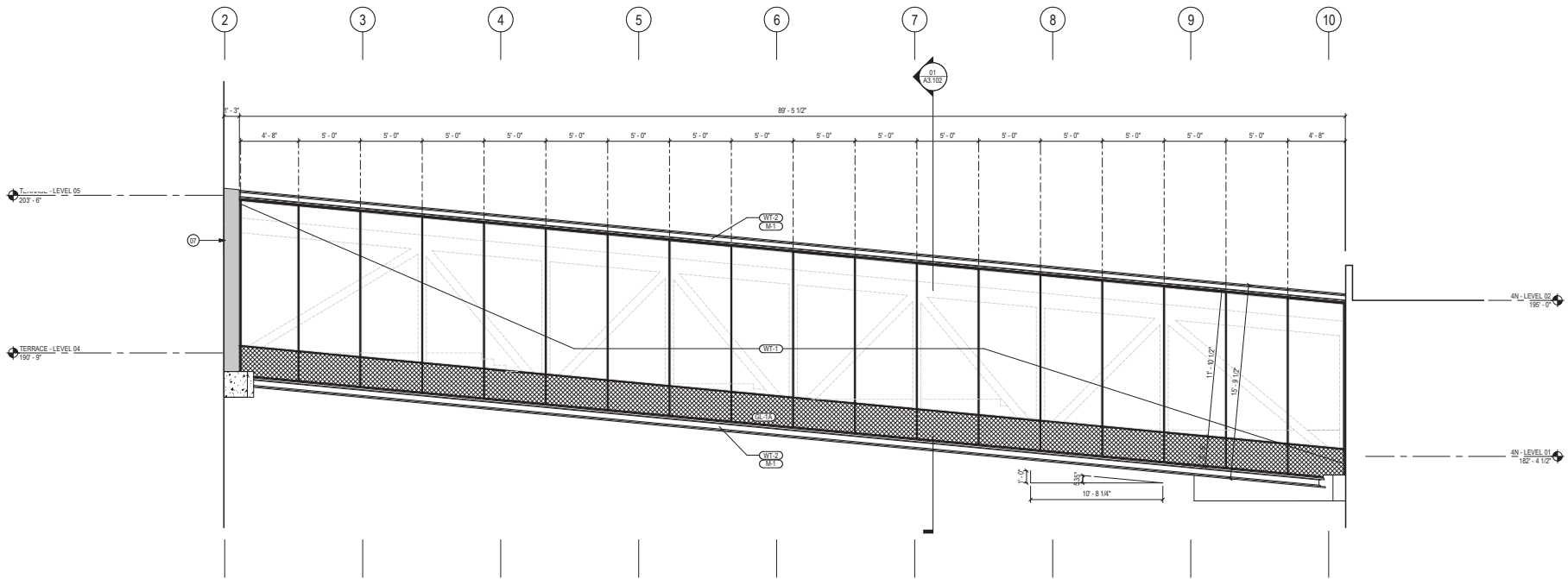
4N - TERRACE BRIDGE | NEW CONSTRUCTION



4N - TERRACE BRIDGE | ELEVATIONS



01 BRIDGE 4NP-TERRACE EAST ELEVATION



2 BRIDGE 4NP-TERRACE WEST ELEVATION

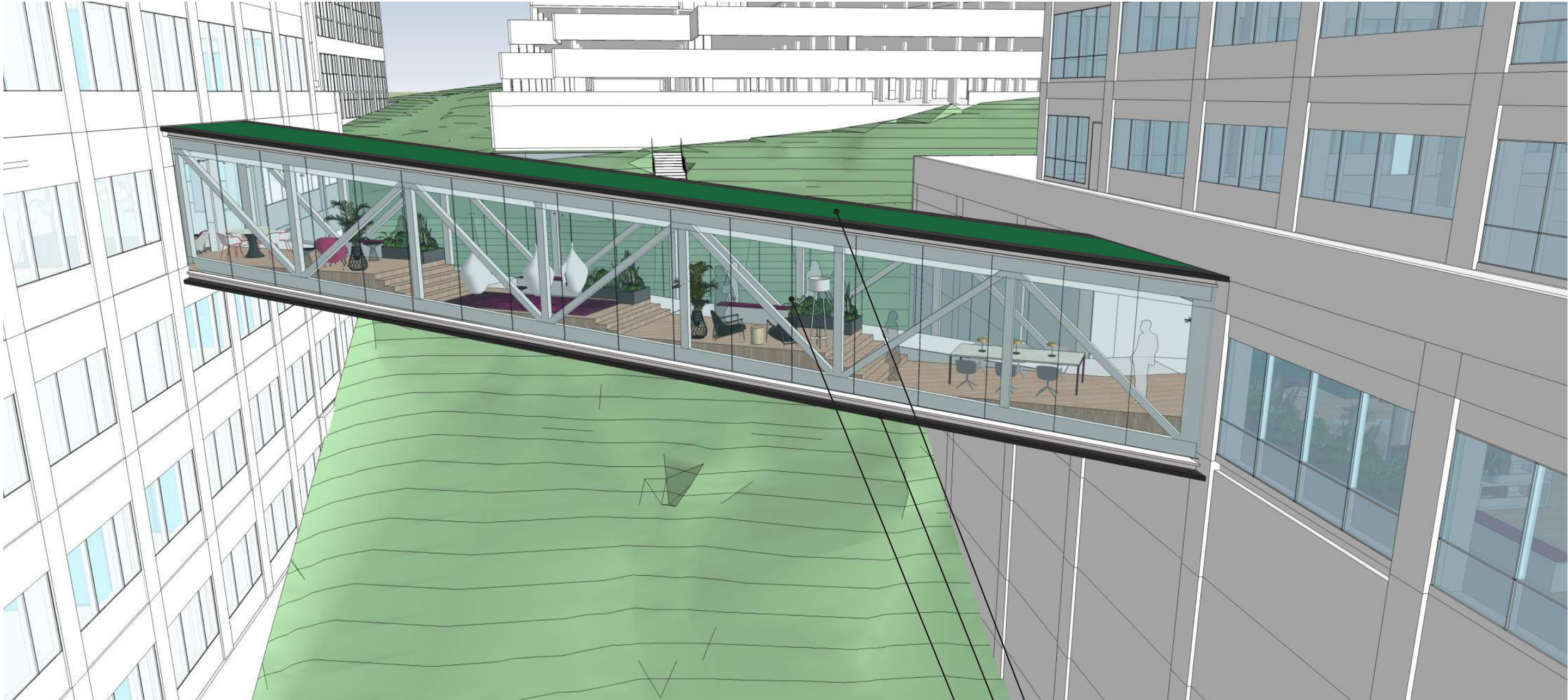
WALL TYPE LEGEND

- | | | | |
|-------|---|------|---|
| GL-1 | 1" THICK INSULATED VISION GLASS
LOW E COATING TYP. UON | WT-1 | 4 SIDED SSG CURTAINWALL SYSTEM
BASIS OF DESIGN: 2-1/2" X 7-1/2" KAWNEER
CLEARWALL EXTRUDED ALUMINUM
CURTAINWALL SYSTEM (SSI) |
| GL-1A | GL-1 + SHADOWBOX | WT-2 | METAL PANEL RAINSCREEN WALL SYSTEM
BASIS OF DESIGN: ALUCOBOND SYSTEM II
RAINSREEN |
| GL-3 | EXISTING GLASS | WT-3 | EXTERIOR WOOD PANEL RAINSCREEN
WALLSYSTEM |
| M-1 | METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: TBD | R-1 | EXTENSIVE GREEN ROOF
BASIS OF DESIGN:
HYDROTECH GARDENROOF ASSEMBLY WITH
FLUID APPLID MONOLITHIC WATERPROOFING
MEMBRANE. |
| M-2 | EXTRUDED ALUMINUM FIN. 2"X6" TYP, UON,
REFER TO DRAWINGS FOR MORE INFO | R-2 | STANDING SEAM METAL ROOF |
| M-3 | SUSPENDED METAL SOFFIT CEILING | R-3 | CUSTOM ALUMINUM AND GLASS CANOPY |
| W-1 | SOLID HARDWOOD T&G SIDING
SIZE AND SPECIES: TBD | | |

4N - TERRACE BRIDGE | RENDERING

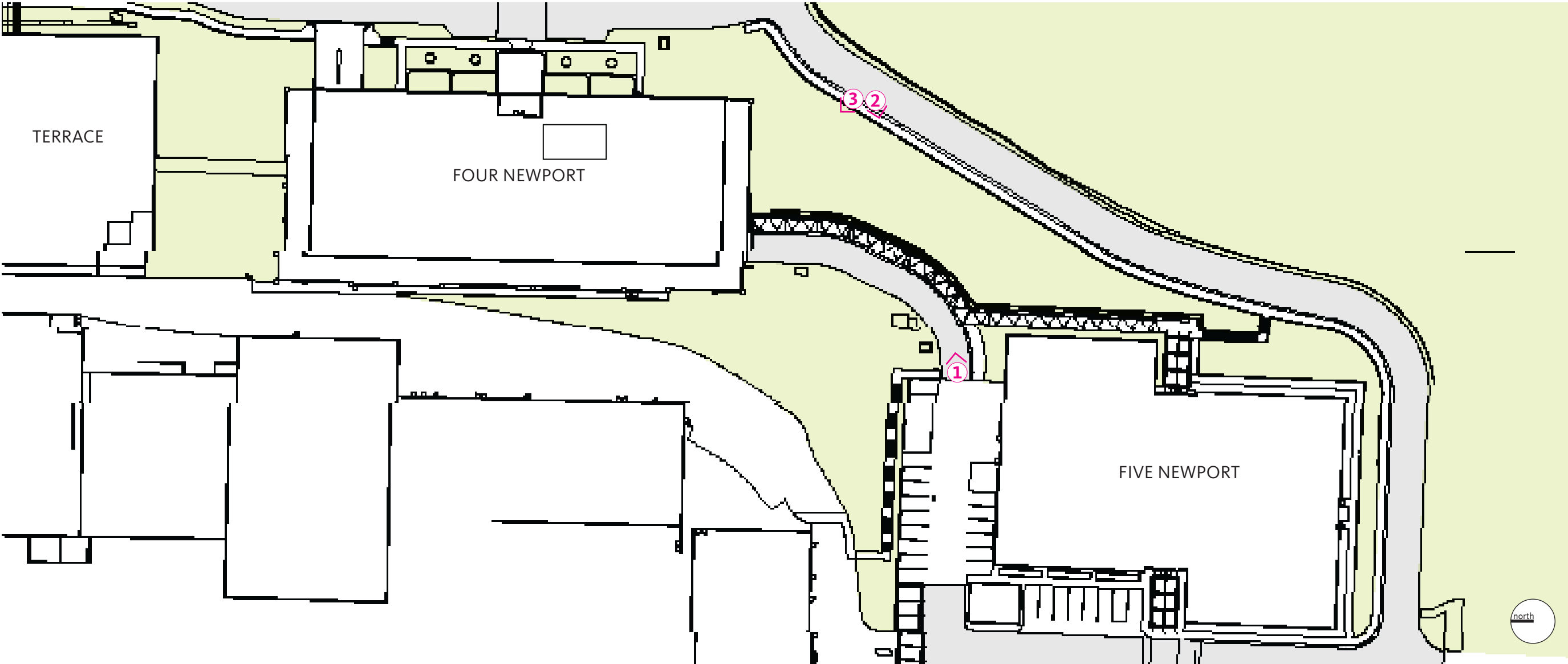


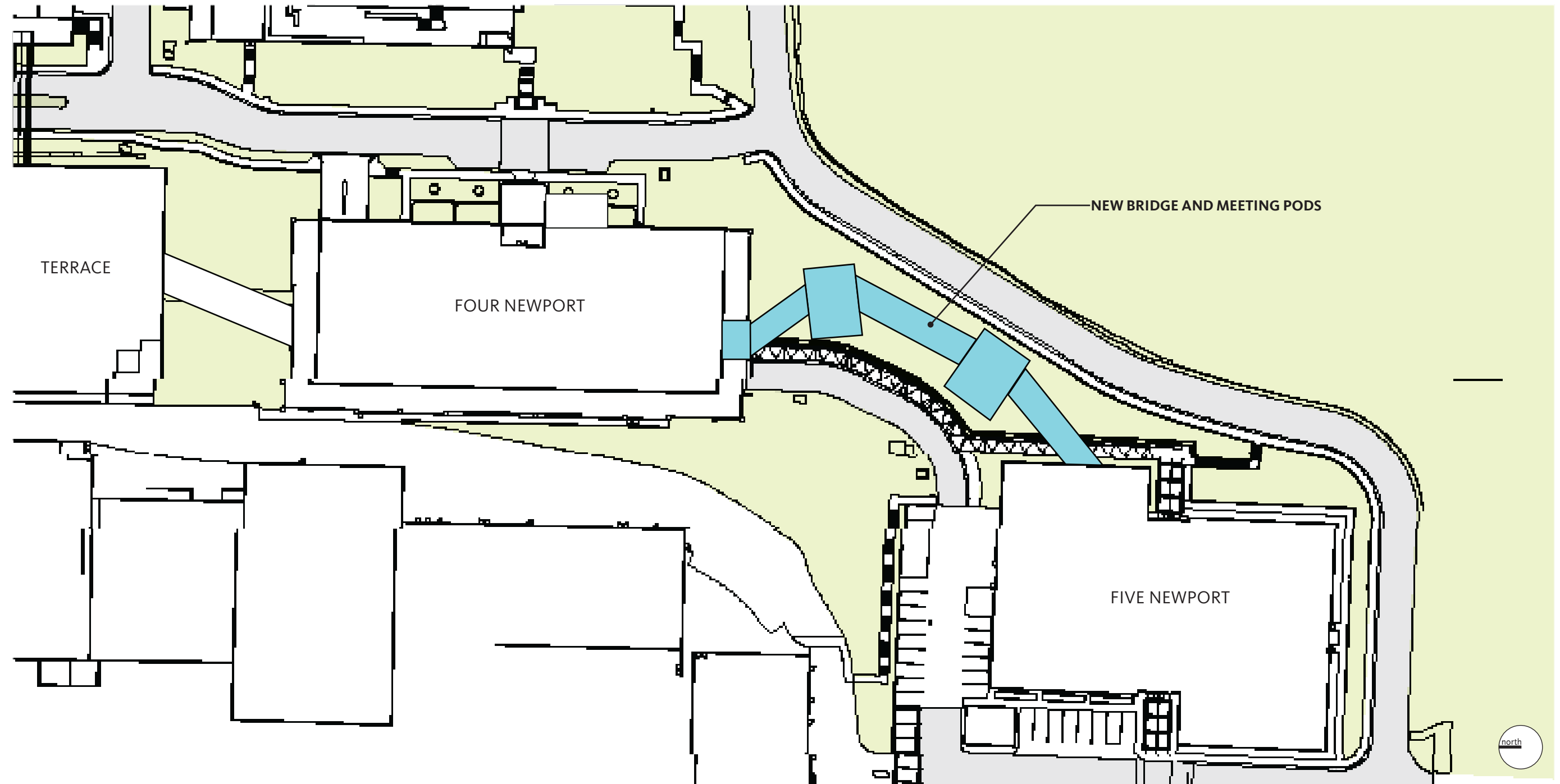
4N - TERRACE BRIDGE | 3D VIEW



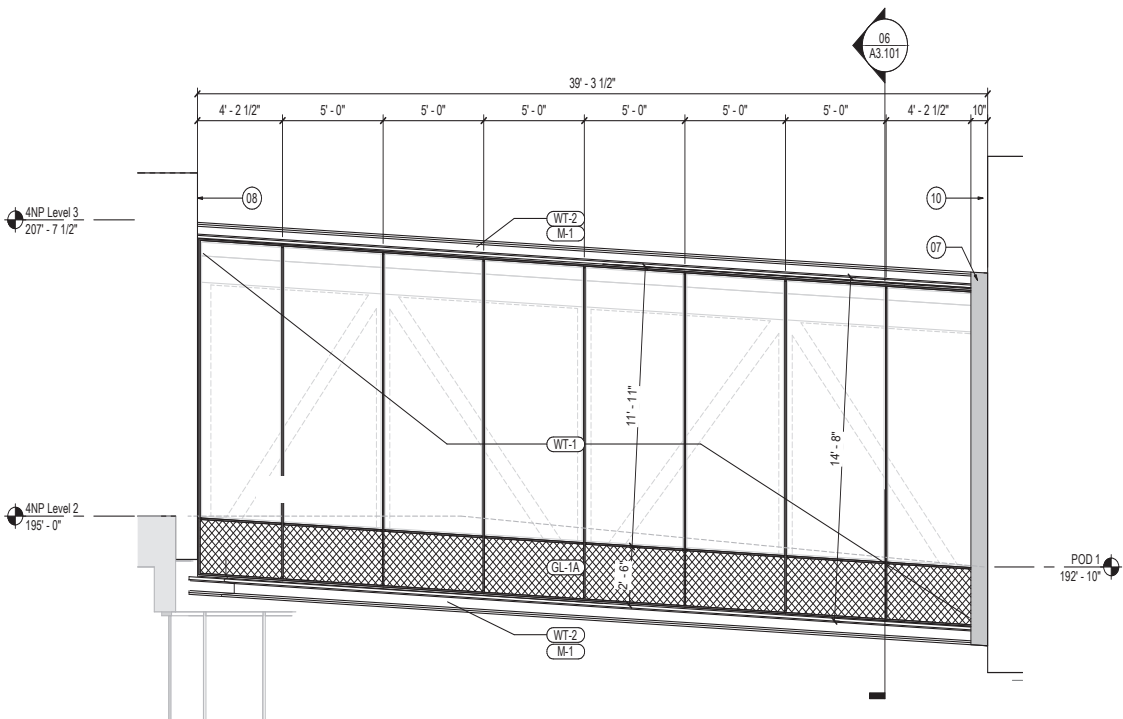
- EXTENSIVE SEDUM GREEN ROOF SYSTEM
- METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: CHARCOAL
- STRUCTURAL SILICONE GLAZE SOLARBAN
60 LOW-E INSULATING GLASS UNIT, TYP

4N - 5NP BRIDGE | EXISTING CONDITIONS

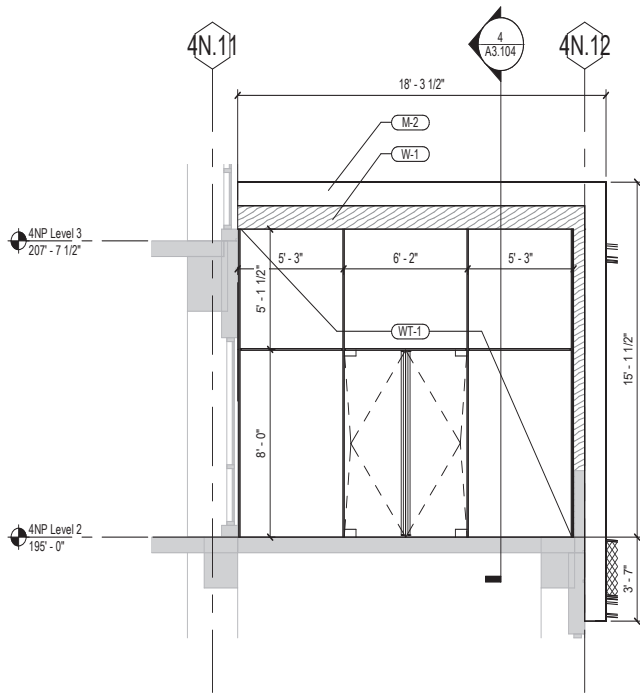




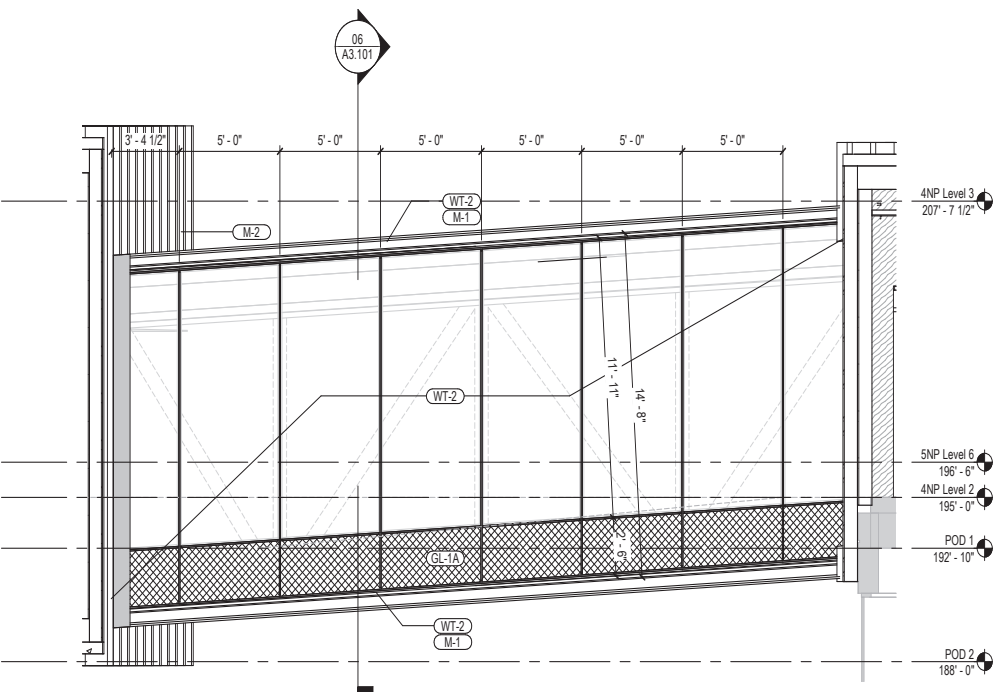
4N - TERRACE BRIDGE | ELEVATIONS



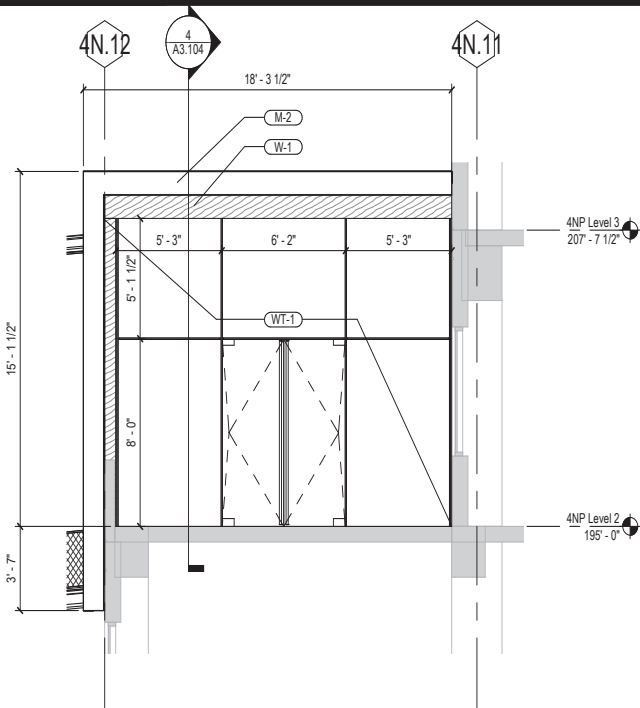
04 4NP-POD1 EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"



01 4NP WEST VESTIBULE ELEVATION
SCALE: 1/4" = 1'-0"



05 4NP-POD 1 EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"

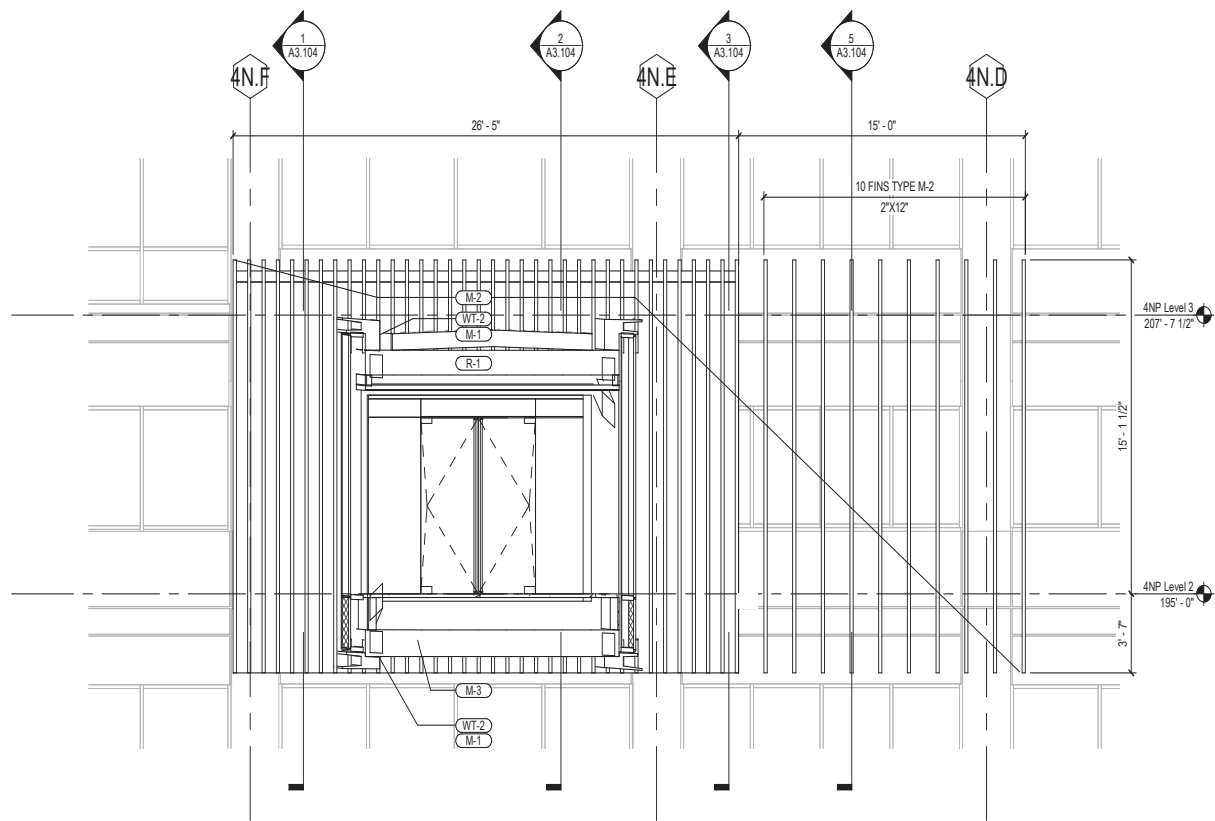


02 4NP EAST VESTIBULE ELEVATION
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

- GL-1 1" THICK INSULATED VISION GLASS
LOW E COATING TYP. UON
- GL-1A GL-1 + SHADOWBOX
- GL-3 EXISTING GLASS
- M-1 METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: TBD
- M-2 EXTRUDED ALUMINUM FIN. 2"X6" TYP, UON,
REFER TO DRAWINGS FOR MORE INFO
- M-3 SUSPENDED METAL SOFFIT CEILING
- W-1 SOLID HARDWOOD T&G SIDING
SIZE AND SPECIES: TBD
- WT-1 4 SIDED SSG CURTAINWALL SYSTEM
BASIS OF DESIGN: 2-1/2" X 7-1/2" KAWNEER
CLEARWALL EXTRUDED ALUMINUM
- WT-2 METAL PANEL RAINSCREEN WALL SYSTEM
BASIS OF DESIGN: ALUCOBOND SYSTEM II
RAINSCREEN
- WT-3 EXTERIOR WOOD PANEL RAINSCREEN
WALLSYSTEM
- R-1 EXTENSIVE GREEN ROOF
BASIS OF DESIGN:
HYDROTECH GARDENROOF ASSEMBLY WITH
FLUID APPLIED MONOLITHIC WATERPROOFING
MEMBRANE.
- R-2 STANDING SEAM METAL ROOF
- R-3 CUSTOM ALUMINUM AND GLASS CANOPY

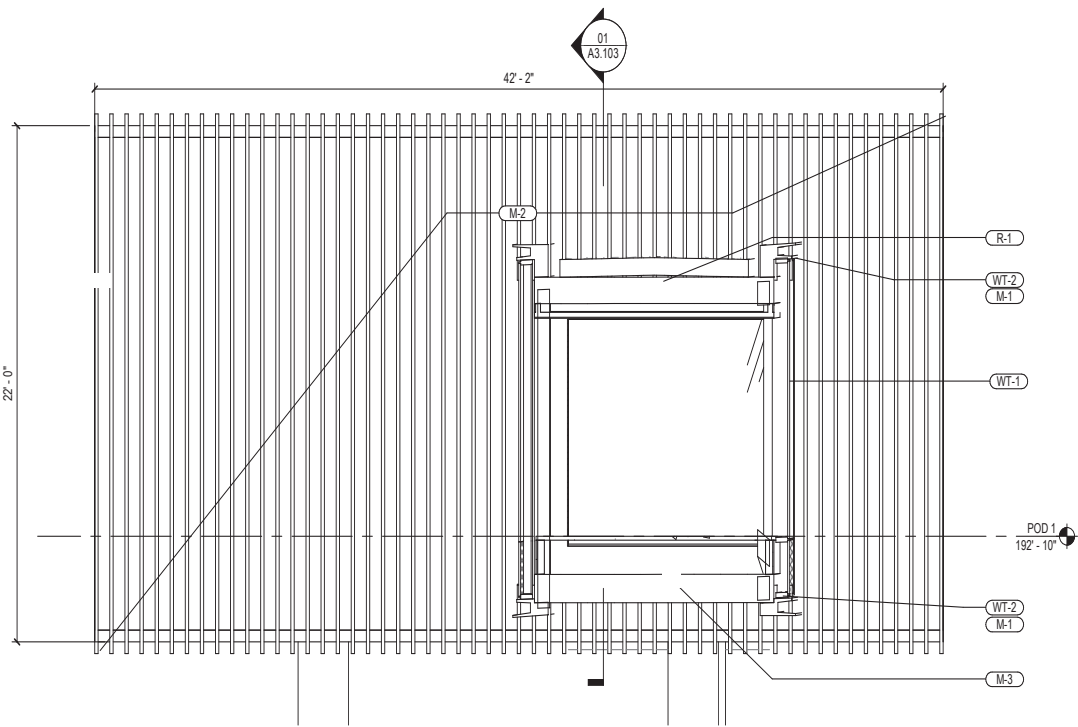
4N - TERRACE BRIDGE | ELEVATIONS



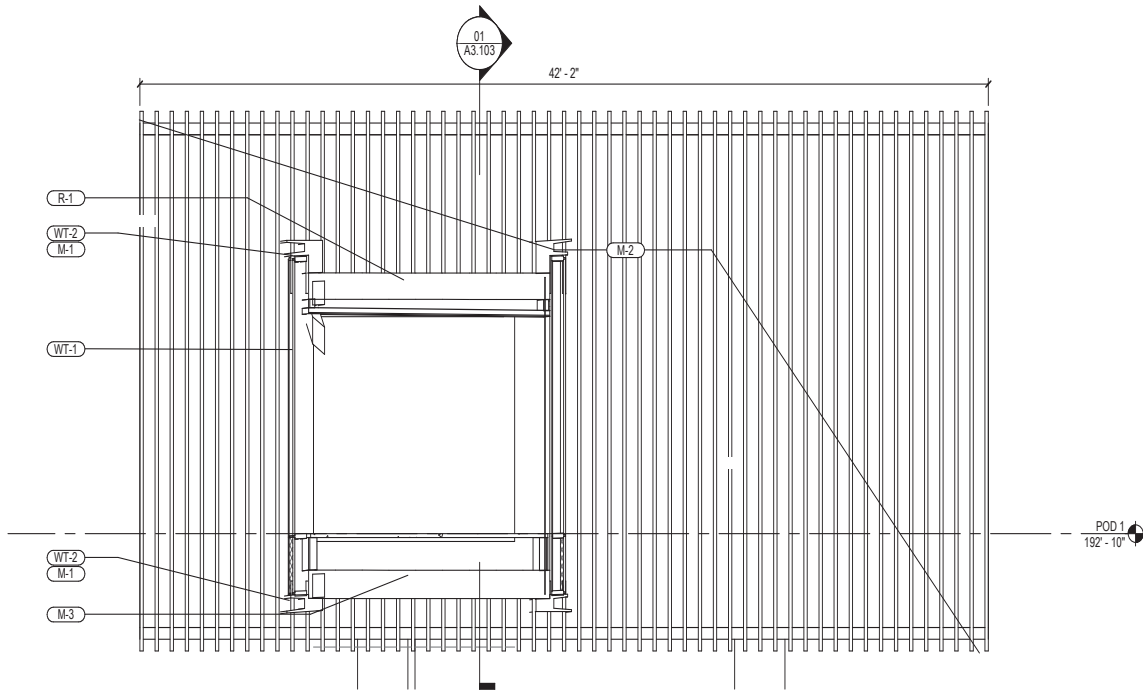
4NP SOUTH VESTIBULE ELEVATION
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

GL-1	1" THICK INSULATED VISION GLASS LOW E COATING TYP. UON	WT-1	4 SIDED SSG CURTAINWALL SYSTEM BASIS OF DESIGN: 2-1/2" X 7-1/2" KAWNEER CLEARWALL EXTRUDED ALUMINUM CURTAINWALL SYSTEM (SSI)
GL-1A	GL-1 + SHADOWBOX	WT-2	METAL PANEL RAINSCREEN WALL SYSTEM BASIS OF DESIGN: ALUCOBOND SYSTEM II RAINSREEN
GL-3	EXISTING GLASS	WT-3	EXTERIOR WOOD PANEL RAINSCREEN WALLSYSTEM
M-1	METAL PANEL BASIS OF DESIGN: ALUCOBOND ACM PANEL CUSTOM COLOR: TBD	R-1	EXTENSIVE GREEN ROOF BASIS OF DESIGN: HYDROTECH GARDENROOF ASSEMBLY WITH FLUID APPLID MONOLITHIC WATERPROOFING MEMBRANE.
M-2	EXTRUDED ALUMINUM FIN. 2"X6" TYP, UON, REFER TO DRAWINGS FOR MORE INFO	R-2	STANDING SEAM METAL ROOF
M-3	SUSPENDED METAL SOFFIT CEILING	R-3	CUSTOM ALUMINUM AND GLASS CANOPY
W-1	SOLID HARDWOOD T&G SIDING SIZE AND SPECIES: TBD		

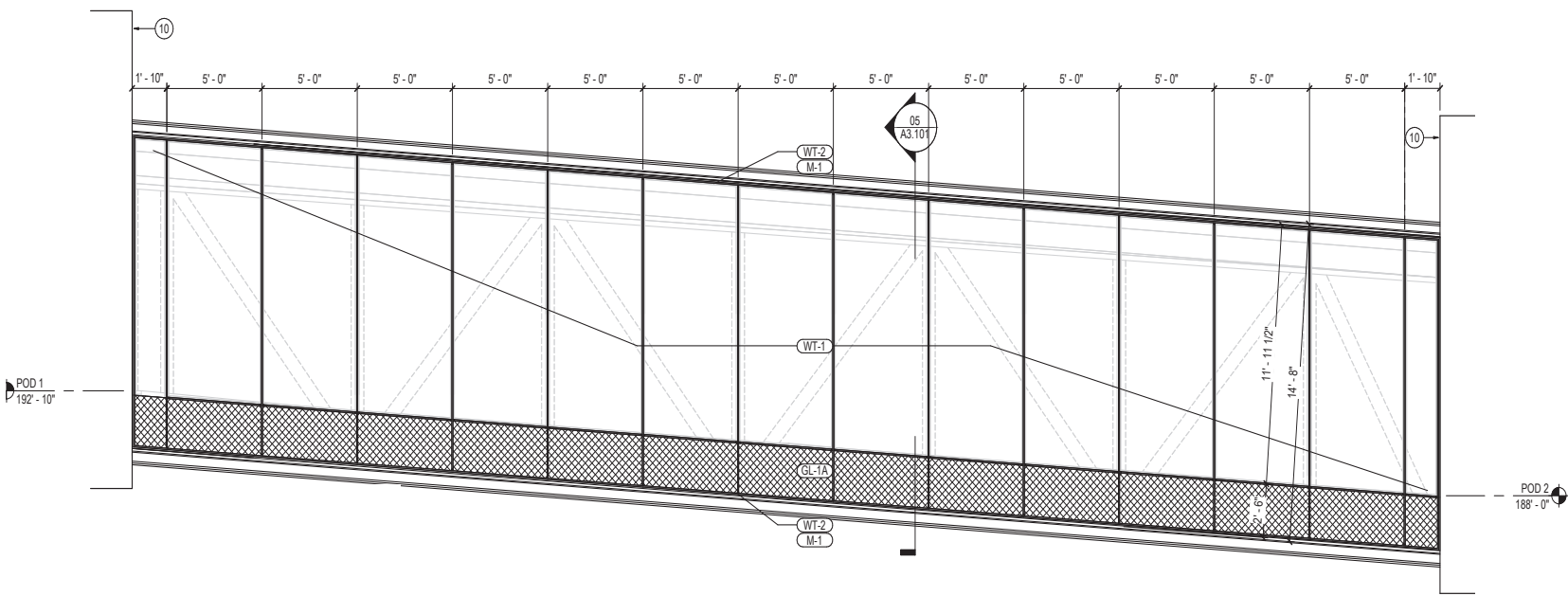


POD 1 EXTERIOR SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

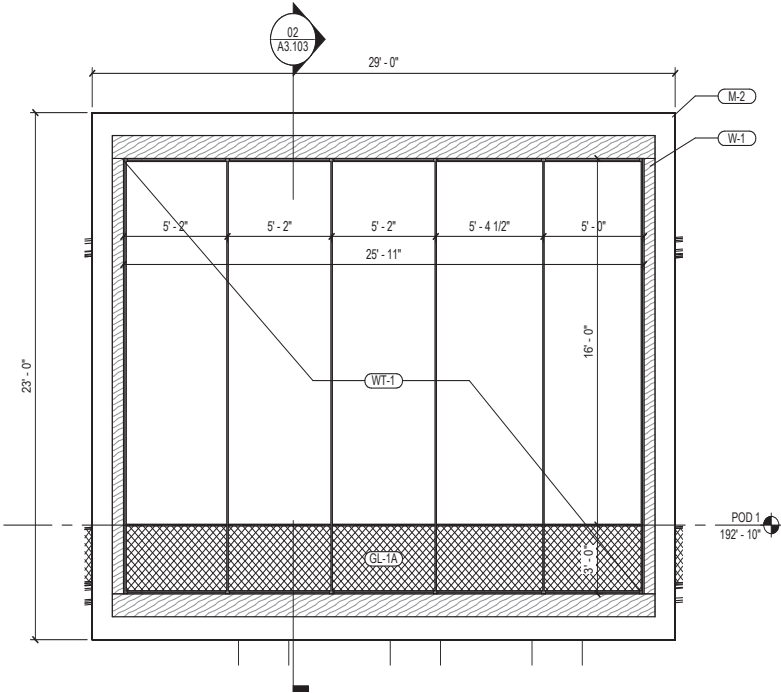


03 POD 1 EXTERIOR NORTH ELEVATION
SCALE: 1/4" = 1'-0"

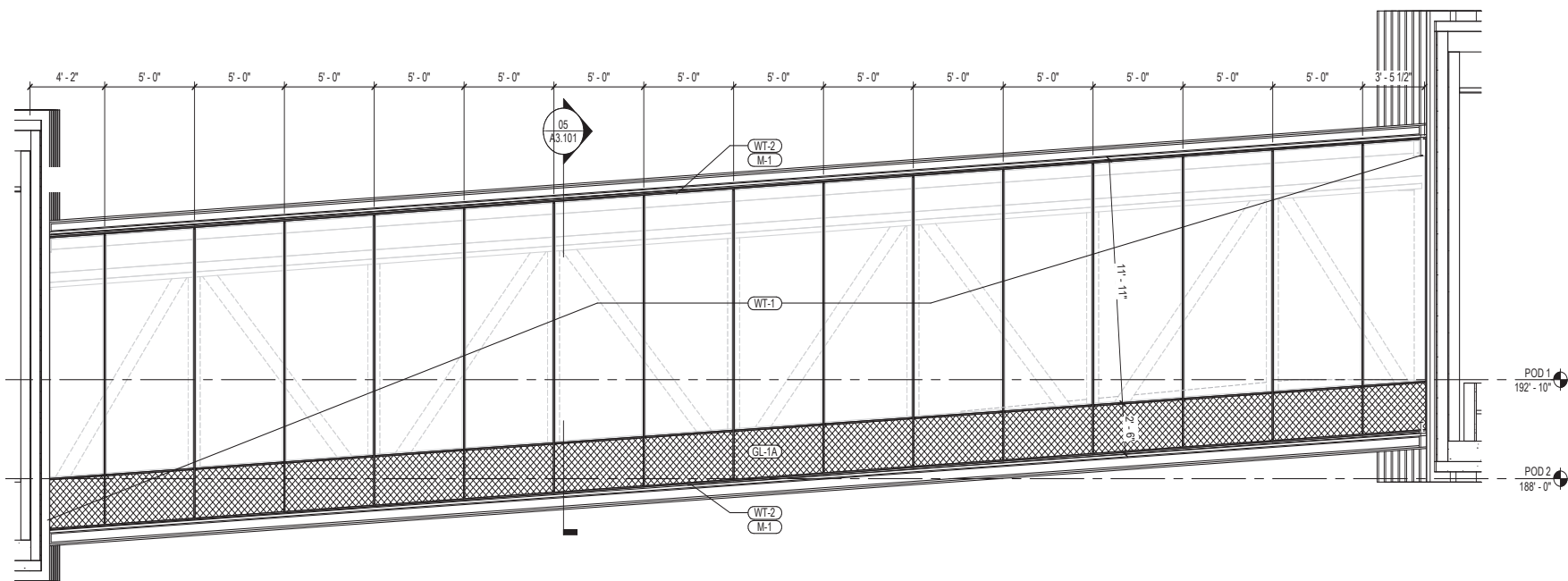
4N - TERRACE BRIDGE | ELEVATIONS



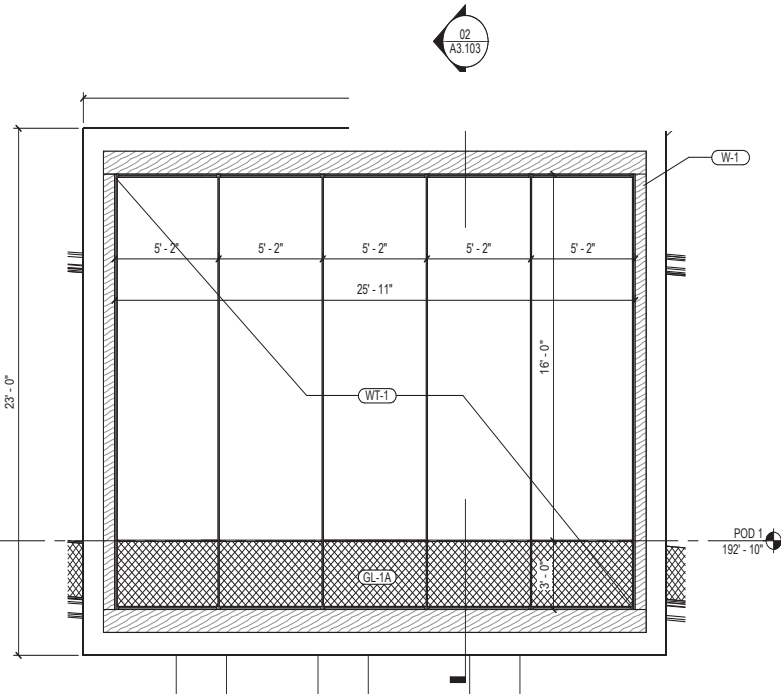
04 POD 1-POD 2 EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"



01 POD 1 EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"

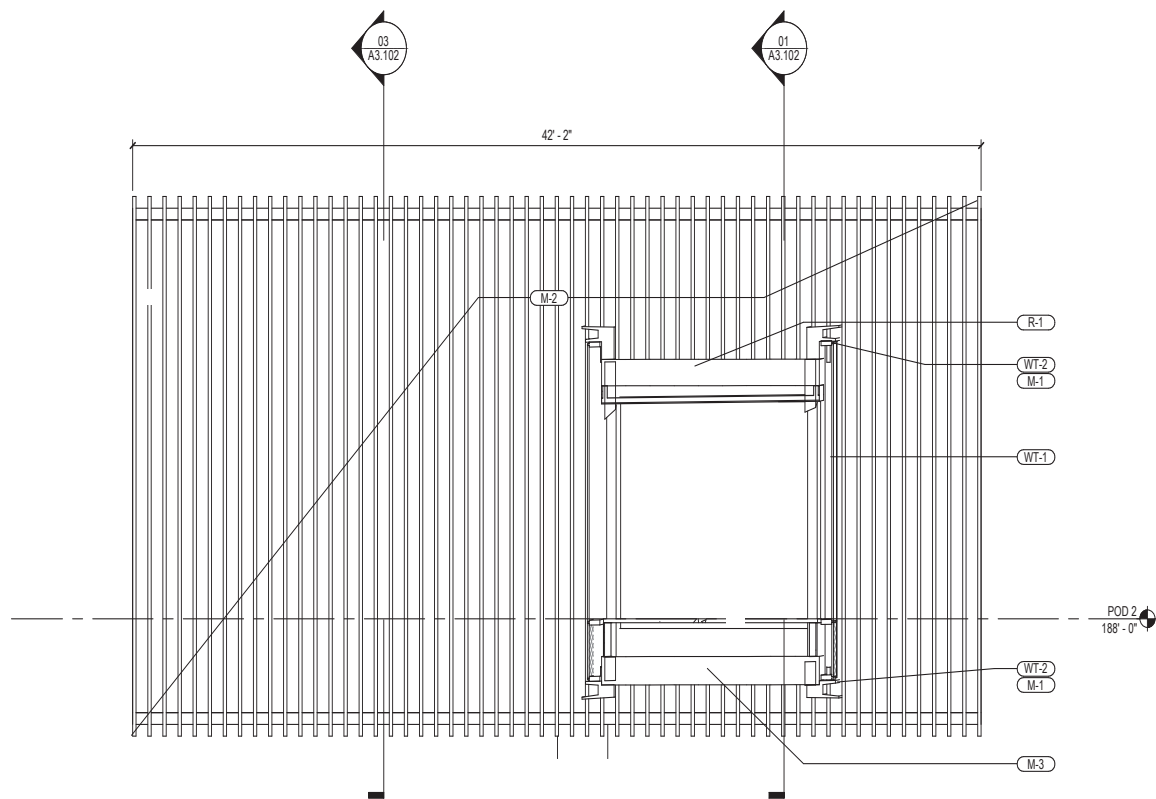


05 POD 1-POD 2 EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"

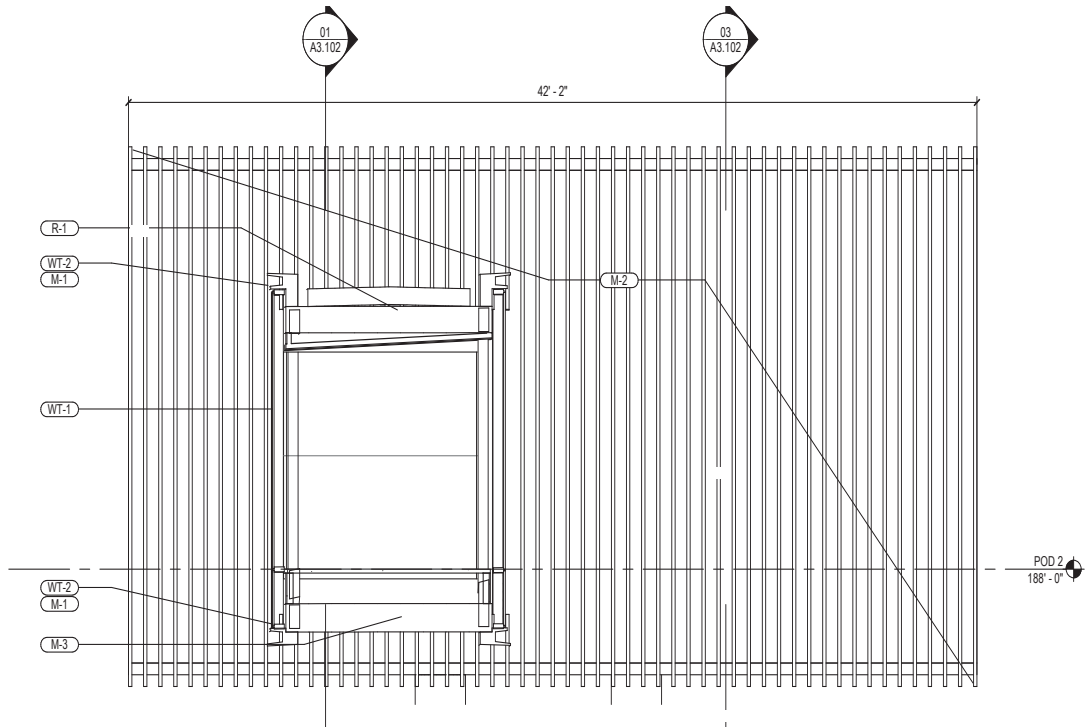


02 POD 1 EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"

4N - TERRACE BRIDGE | ELEVATIONS



POD 2 EXTERIOR SOUTH ELEVATION
LE: 1/4" = 1'-0"

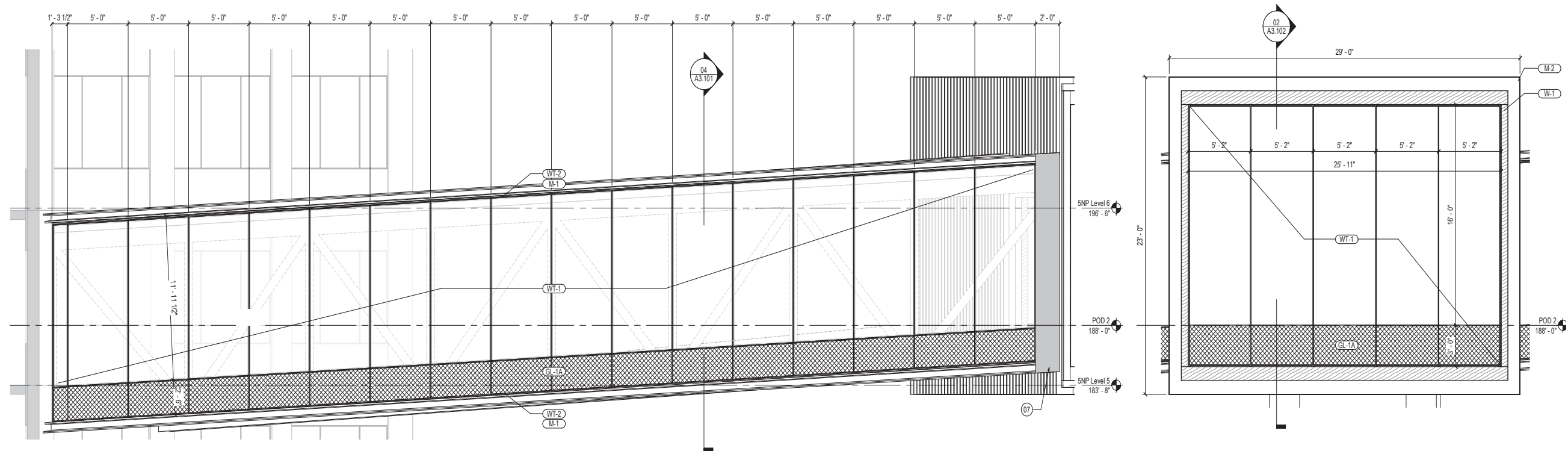


POD 2 EXTERIOR NORTH ELEVATION
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

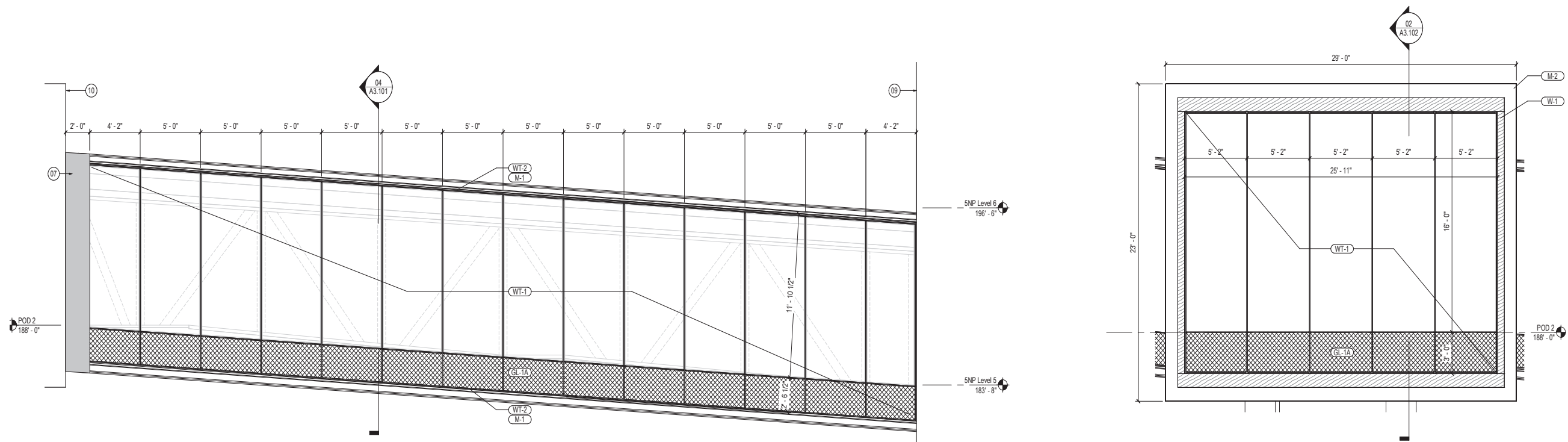
- | | |
|--|---|
| GL-1 1" THICK INSULATED VISION GLASS
LOW E COATING TYP. UON | WT-1 4 SIDED SSG CURTAINWALL SYSTEM
BASIS OF DESIGN: 2-1/2" X 7-1/2" KAWNEER
CLEARWALL EXTRUDED ALUMINUM
CURTAINWALL SYSTEM (SSI) |
| GL-1A GL-1 + SHADOWBOX | WT-2 METAL PANEL RAINSCREEN WALL SYSTEM
BASIS OF DESIGN: ALUCOBOND SYSTEM II
RAINSCREEN |
| GL-3 EXISTING GLASS | WT-3 EXTERIOR WOOD PANEL RAINSCREEN
WALLSYSTEM |
| M-1 METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: TBD | R-1 EXTENSIVE GREEN ROOF
BASIS OF DESIGN:
HYDROTECH GARDENROOF ASSEMBLY WITH
FLUID APPLID MONOLITHIC WATERPROOFING
MEMBRANE. |
| M-2 EXTRUDED ALUMINUM FIN. 2"X6" TYP, UON,
REFER TO DRAWINGS FOR MORE INFO | R-2 STANDING SEAM METAL ROOF |
| M-3 SUSPENDED METAL SOFFIT CEILING | R-3 CUSTOM ALUMINUM AND GLASS CANOPY |
| W-1 SOLID HARDWOOD T&G SIDING
SIZE AND SPECIES: TBD | |

4N - TERRACE BRIDGE | ELEVATIONS



04 5NP - POD 2 EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"

01 POD 2 EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"

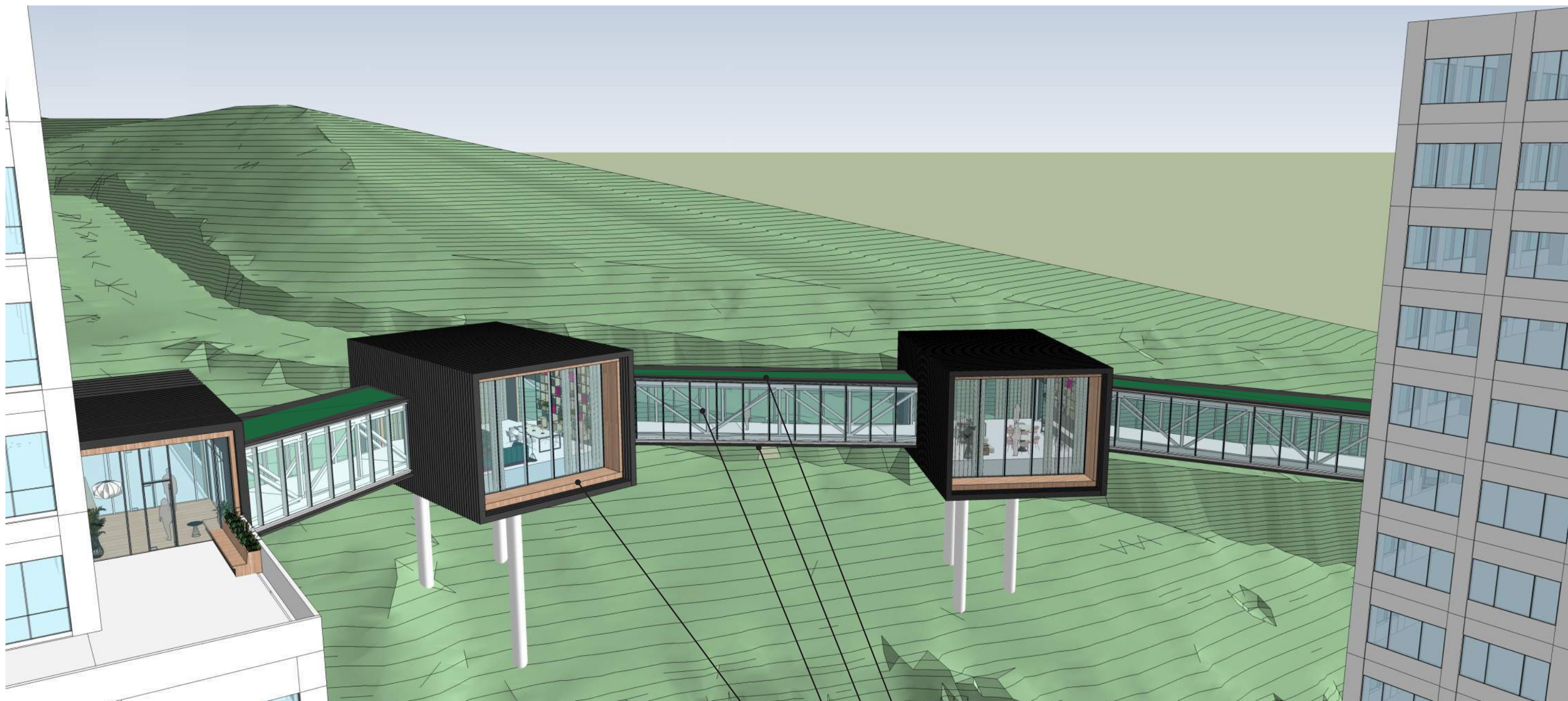


05 5NP-POD 2 BRIDGE EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"

02 POD 2 EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"



4N - TERRACE BRIDGE | 3D VIEWS



EXTENSIVE SEDUM GREEN ROOF SYSTEM

METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: CHARCOAL

STRUCTURAL SILICONE GLAZE SOLARBAN
60 LOW-E INSULATING GLASS UNIT, TYP

EXTERIOR WOOD PANEL RAINSCREEN SYSTEM

4N - TERRACE BRIDGE | 3D VIEWS

NEW ENTRY VESTIBULE

METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: CHARCOAL

EXTERIOR WOOD PANEL RAINSCREEN SYSTEM

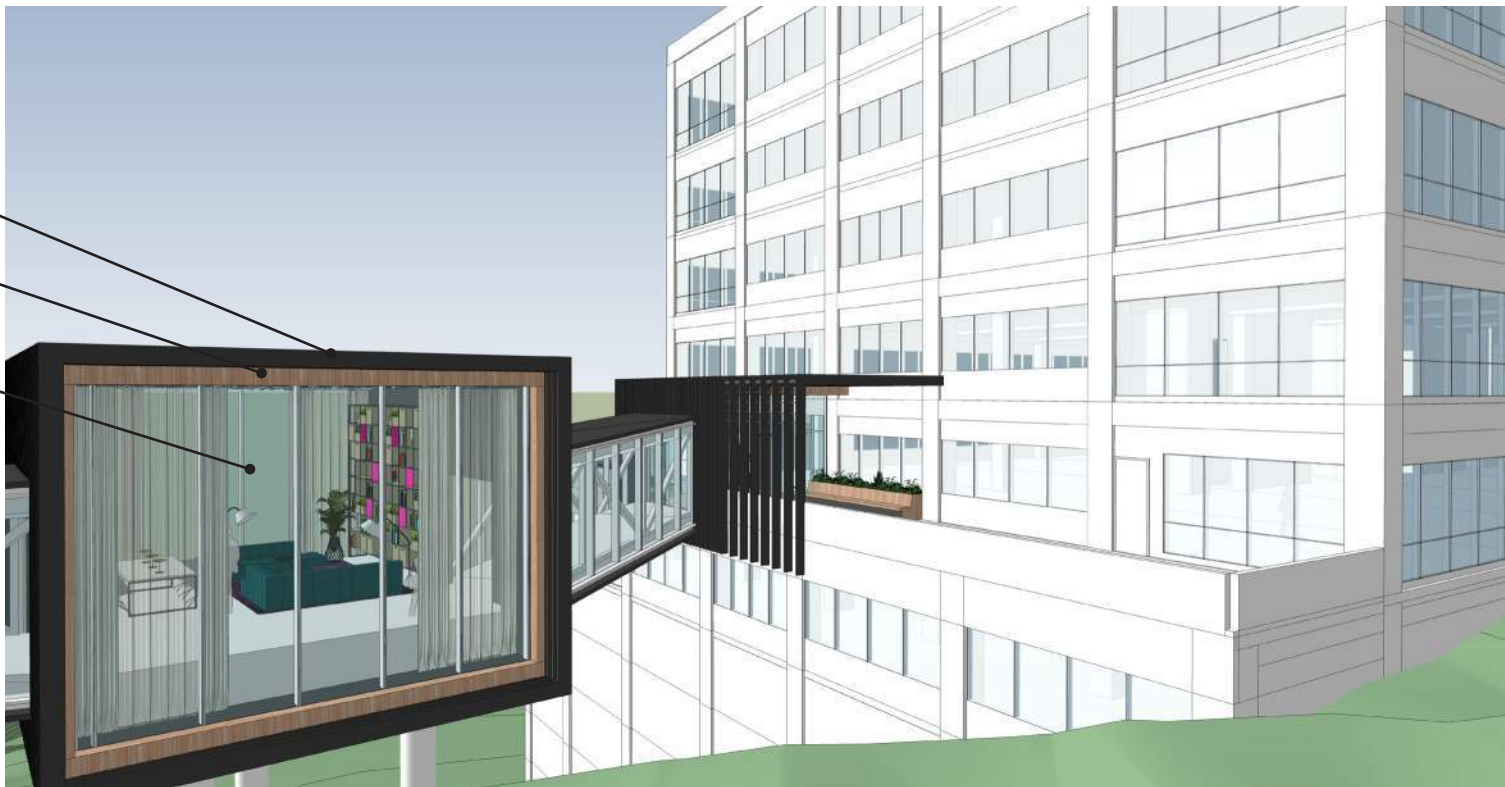
STRUCTURAL SILICONE GLAZE SOLARBAN
60 LOW-E INSULATING GLASS UNIT



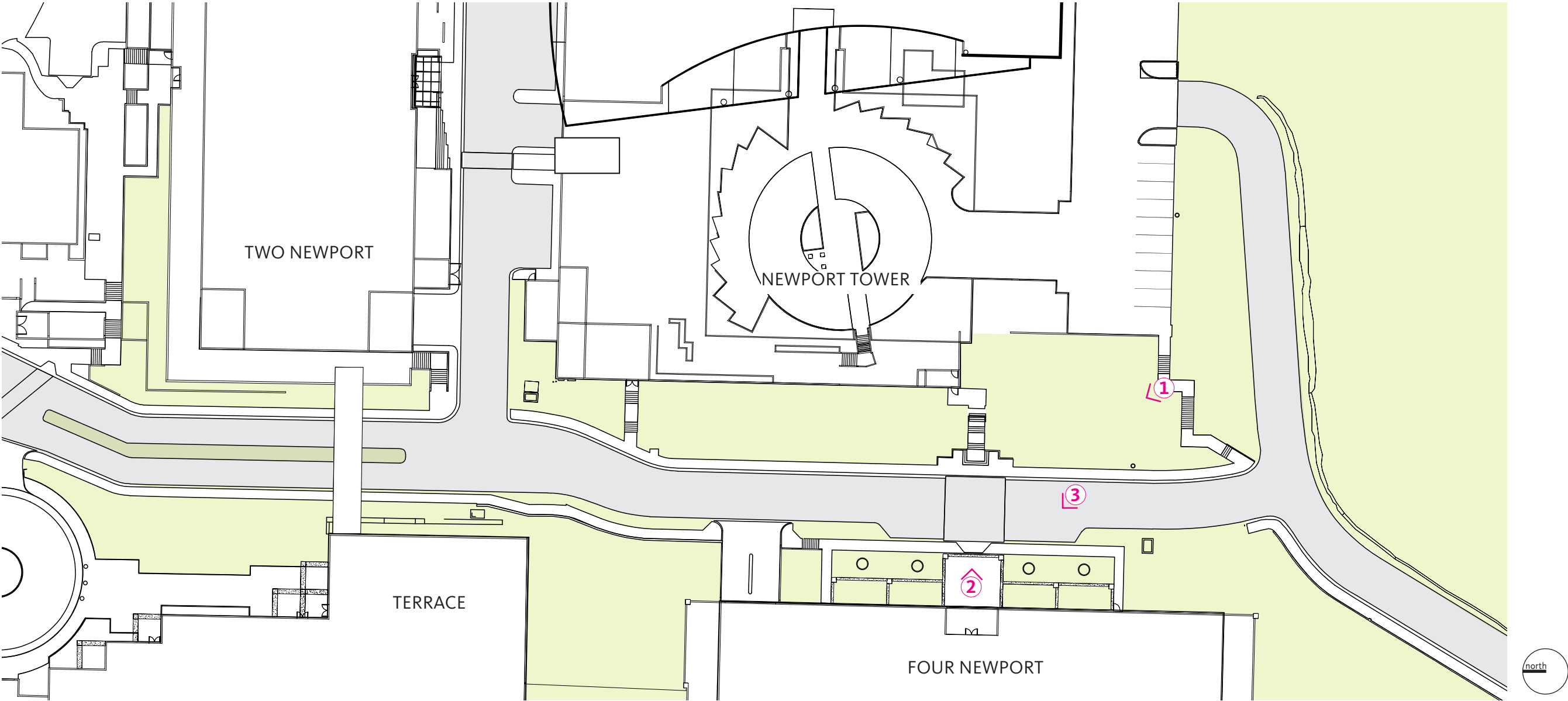
METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: CHARCOAL

EXTERIOR WOOD PANEL RAINSCREEN SYSTEM

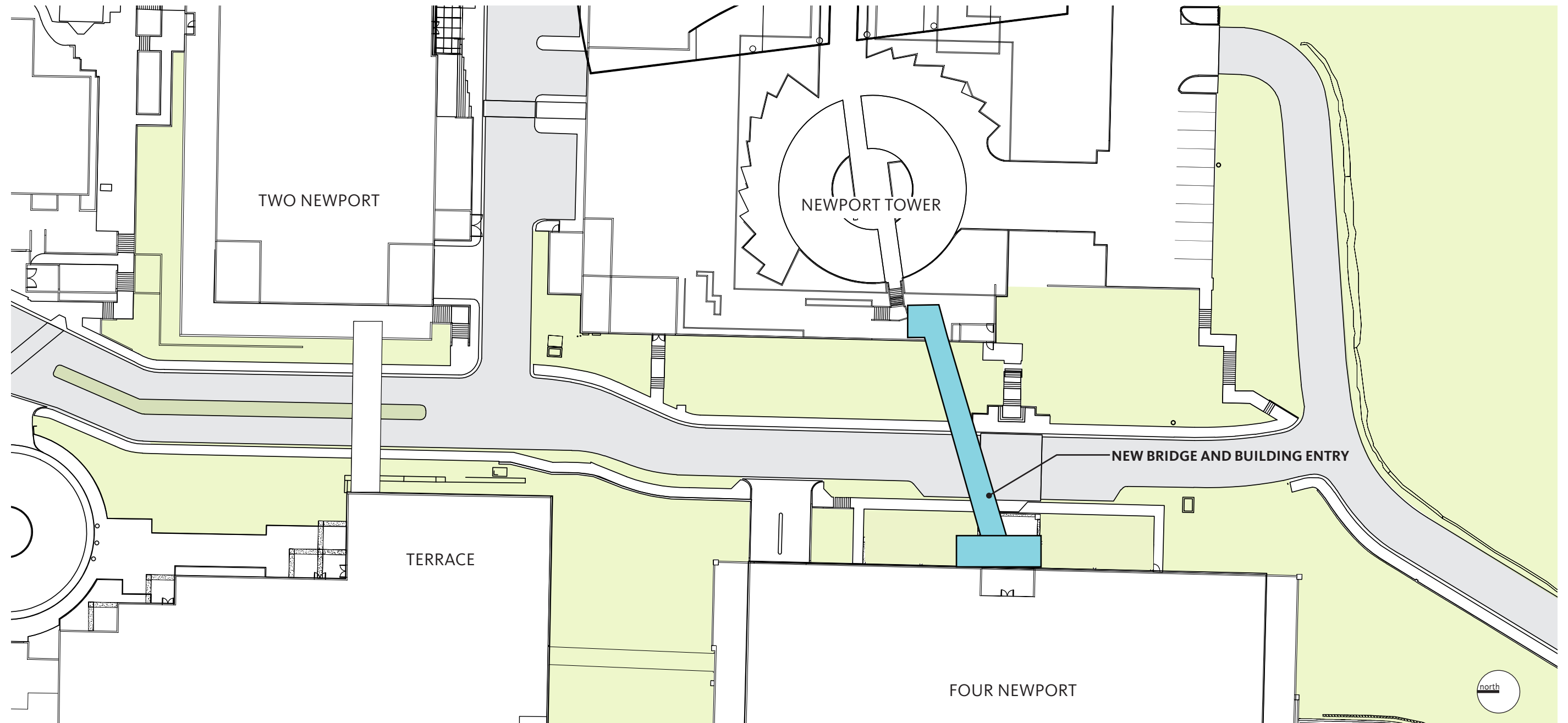
STRUCTURAL SILICONE GLAZE SOLARBAN
60 LOW-E INSULATING GLASS UNIT



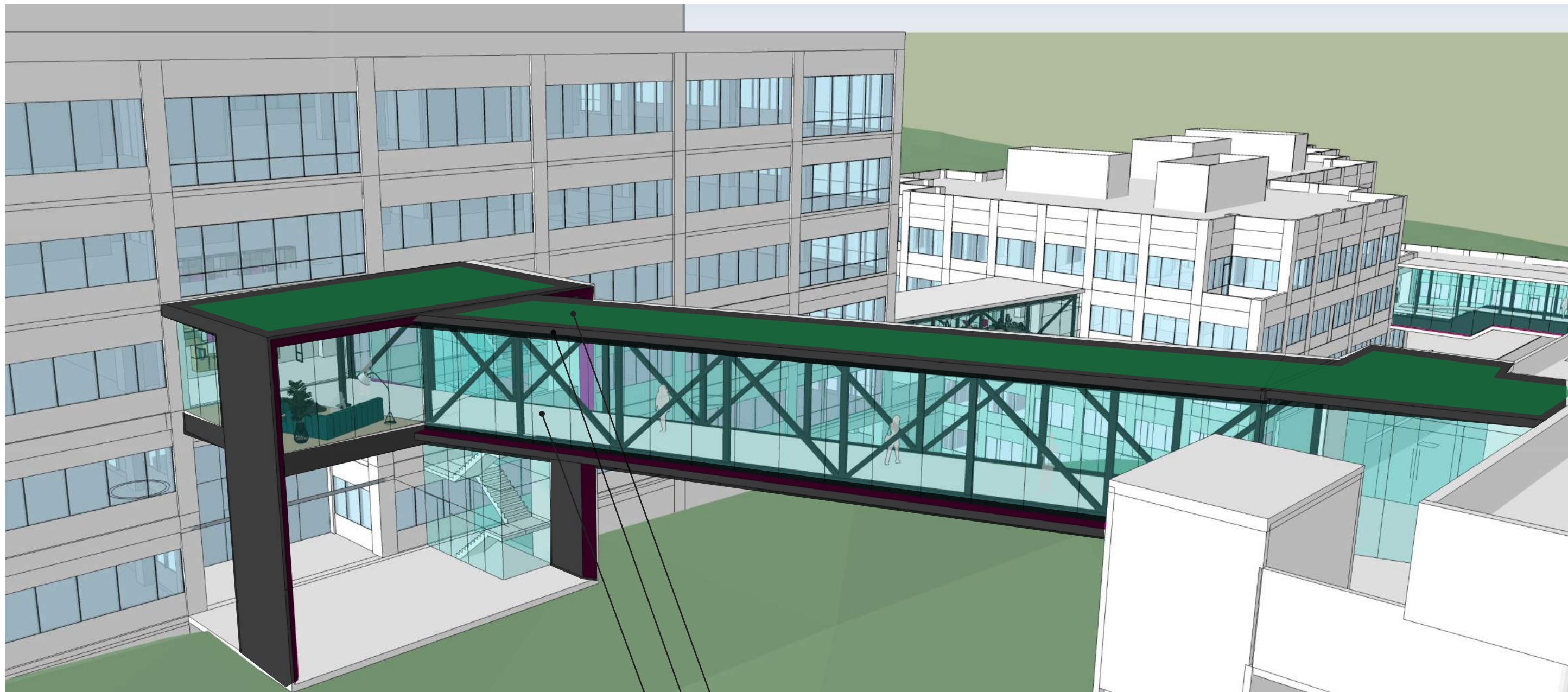
4N - TOWER BRIDGE | EXISTING CONDITIONS



4N - TOWER | NEW CONSTRUCTION



4N - TOWER BRIDGE | 3D VIEW



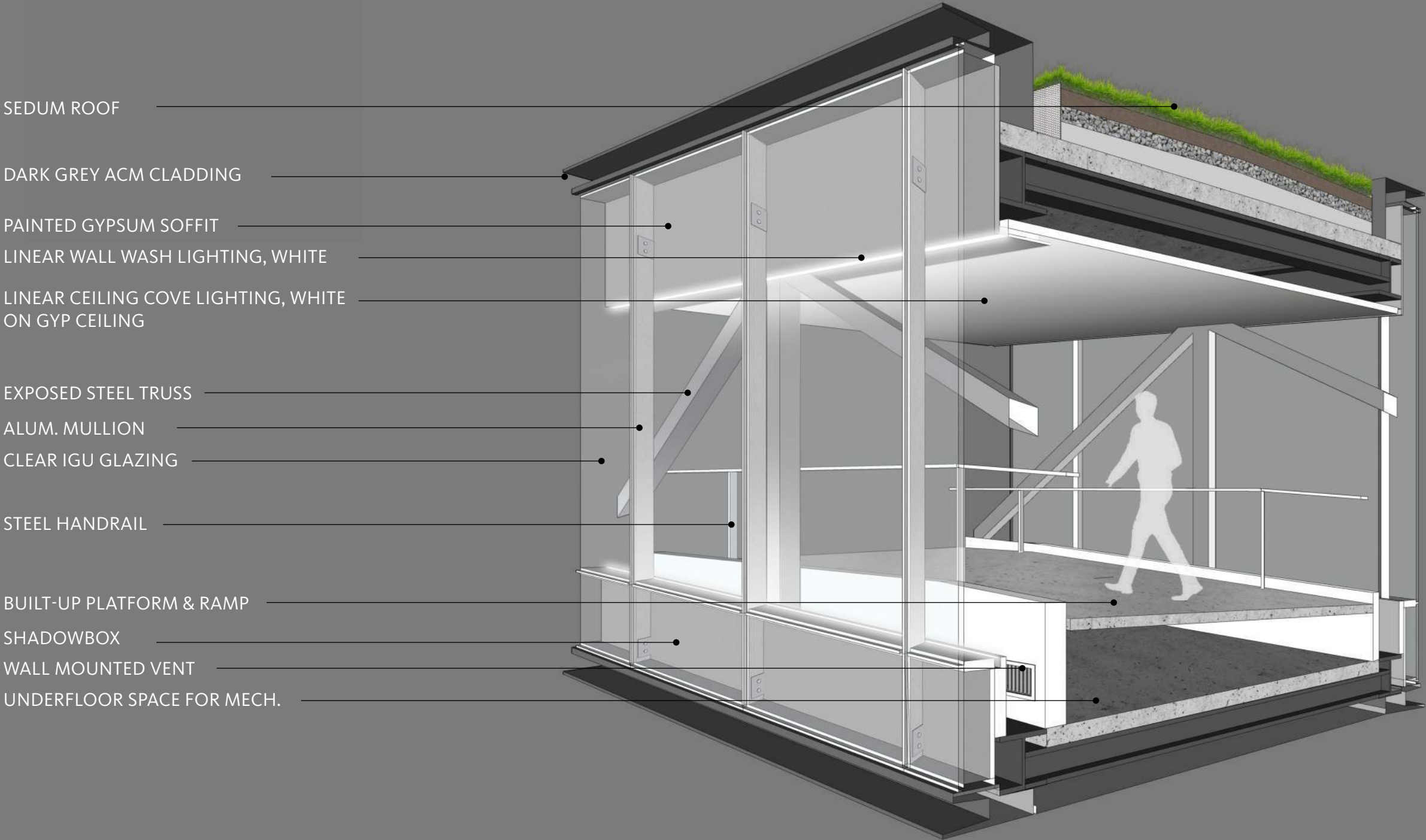
EXTENSIVE SEDUM GREEN ROOF SYSTEM

METAL PANEL
BASIS OF DESIGN: ALUCOBOND ACM PANEL
CUSTOM COLOR: CHARCOAL

STRUCTURAL SILICONE GLAZE SOLARBAN
60 LOW-E INSULATING GLASS UNIT, TYP

TYPICAL SECTIONS

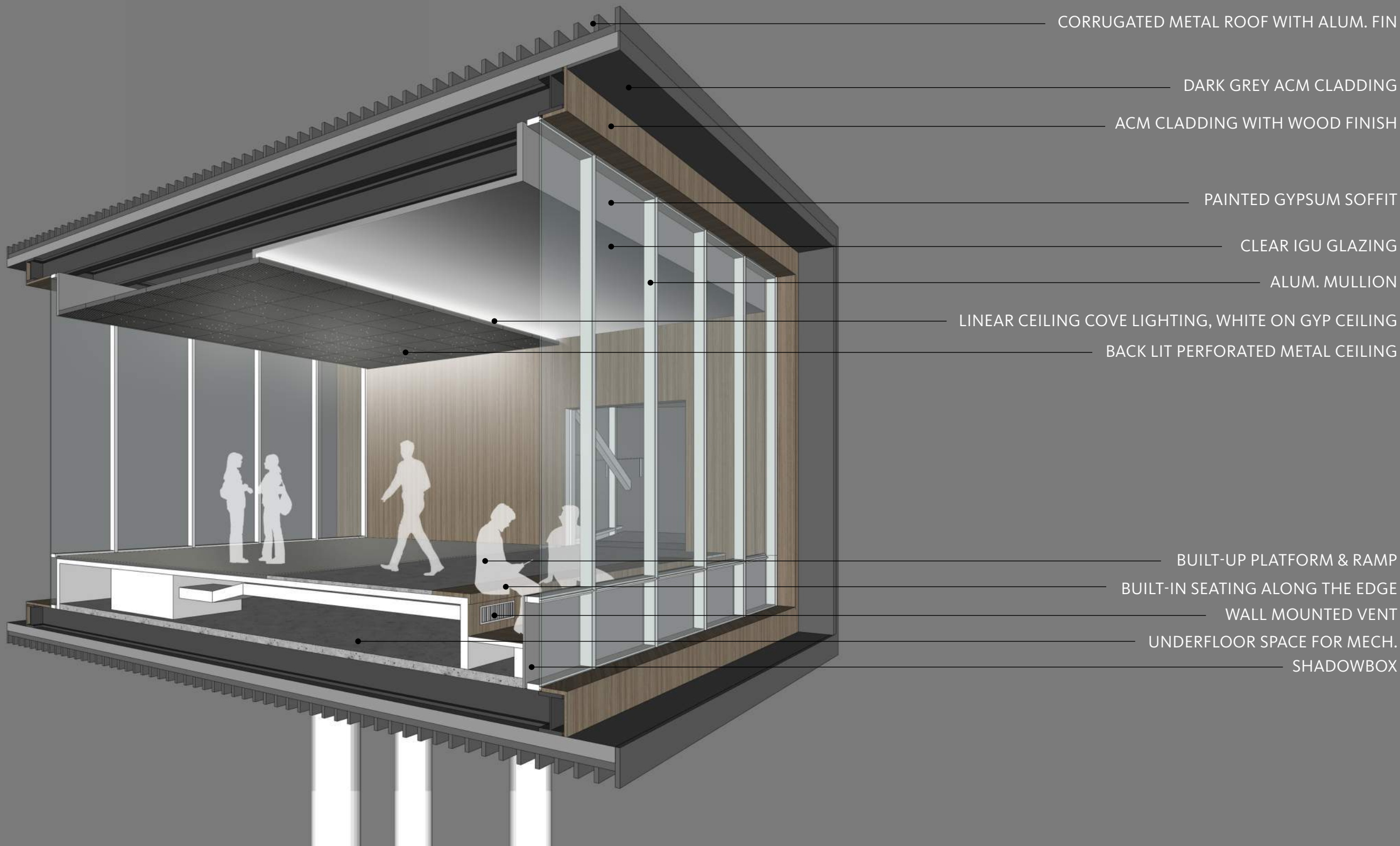
BRIDGE | TYPICAL SECTION



VESTIBULE | **TYPICAL SECTION**



POD | TYPICAL SECTION



CAMPUS PLANTING ZONES

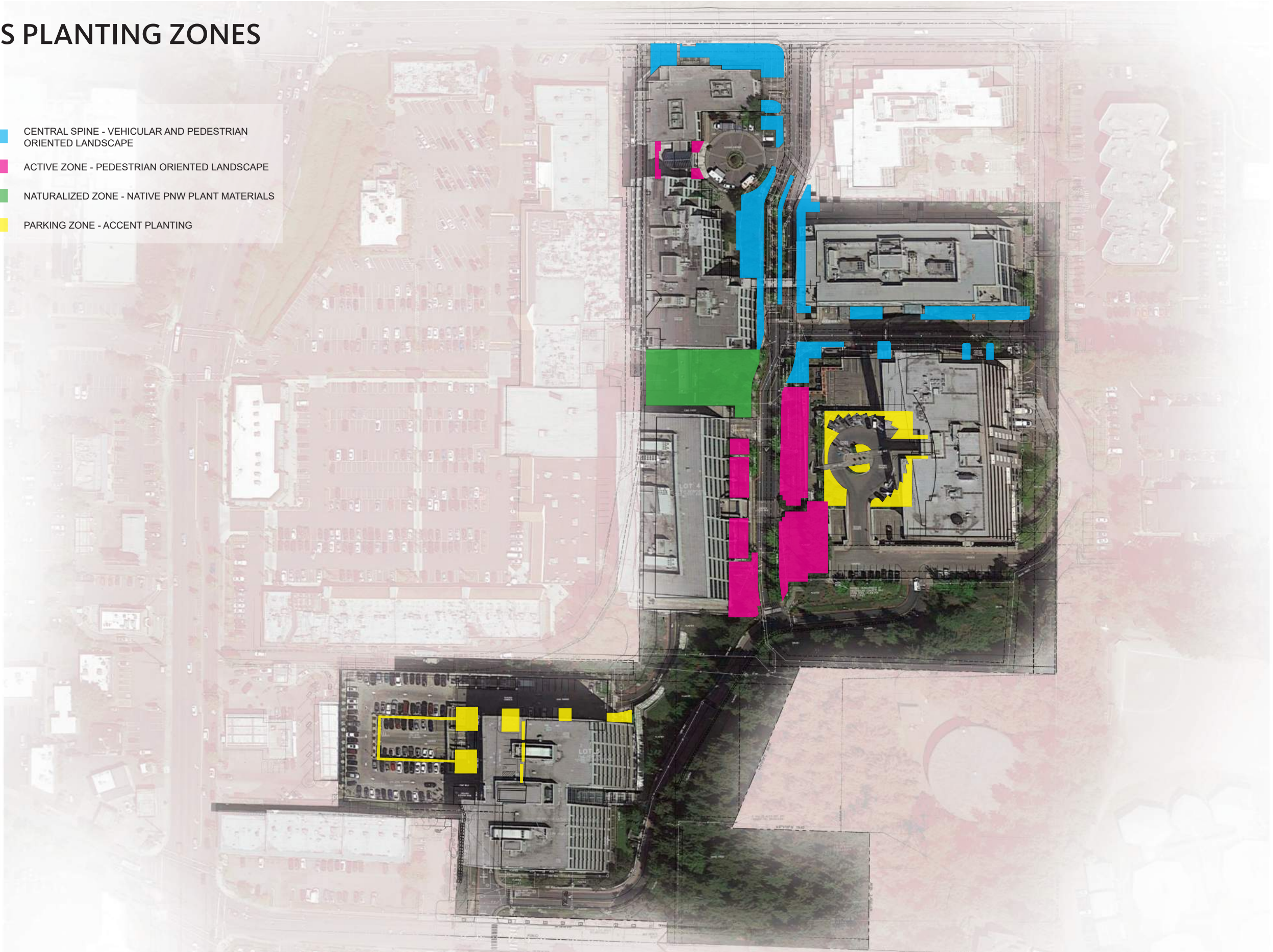
LEGEND

CENTRAL SPINE - VEHICULAR AND PEDESTRIAN ORIENTED LANDSCAPE

ACTIVE ZONE - PEDESTRIAN ORIENTED LANDSCAPE

NATURALIZED ZONE - NATIVE PNW PLANT MATERIALS

PARKING ZONE - ACCENT PLANTING



CAMPUS LANDSCAPE PLANT PALETTE

Street Trees

Acer rubrum 'Red Sunset' / Red Sunset Maple
Acer truncatum 'Keithsform' / Norwegian Sunset Maple
Cercidiphyllum japonicum / Katsura
Liquidambar Styraciflua / Sweetgum
Quercus garryana / Oregon White Oak
Quercus palustris / Pin Oak
Zelkova serrata 'Green Vase' / Green Vase Zelkova

Accent Trees

Acer griseum / Paperbark Maple
Acer palmatum / Japanese Maple
Alnus rubra / Red Alder
Amelanchier 'Autumn Brilliance' / Serviceberry
Betula jacquemontii / Jacquemontii Birch
Betula nigra / River Birch
Carpinus betulus 'Fastigiata' / Columnar Hornbeam
Cornus 'Eddie's White Wonder' / Flowering Dogwood
Cornus Nuttallii / Pacific Dogwood
Ginkgo biloba 'The President' / The President Ginkgo
Gleditsia triacanthos / Honeylocust
Magnolia grandiflora 'Little Gem' / Little Gem Magnolia
Prunus yedoensis 'Akebono' / Akebono Flowering Cherry

Evergreen Accent & Screening Trees

Abies grandis / Grand Fir
Chamaecyparis obtusa 'Gracilis' / Slender Hinoki False Cypress
Cupressus sempervirens / Italian Cypress
Juniperus chinensis 'Torulosa' / Hollywood Juniper
Juniperus virginiana 'Taylor' / Taylor Juniper
Picea stichensis / Sitka Spruce
Pinus contorta / Shore Pine
Pinus flexilis 'Vanderwolf's Pine' / Vanderwolf's Pine
Thuja plicata 'Excelsa' / Excelsa Cedar
Tsuga heterophylla / Western Hemlock

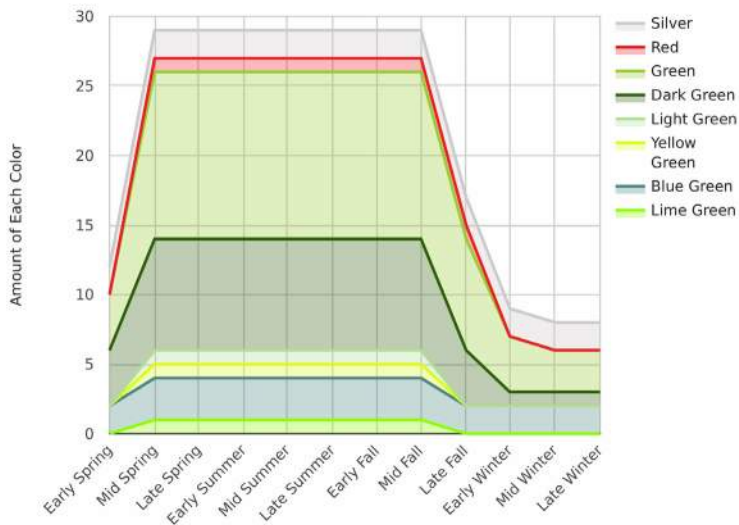
Shrubs

Acer circinatum / Vine Maple
Amelanchier x. grandiflora 'Princess Diana' / Serviceberry
Buxus m. 'Koreana' / Korean Boxwood
Caryopteris incana 'Jason' / Blue Spirea
Cotinus coggygria / Smoke Bush
Camellia sasanqua / White Camelia
Escallonia compacta / Dwarf Escallonia
Euonymus japonicus 'Green Spire' / Green Spire Euonymus
Hydrangea p. 'Little Lime' / Little Lime Hydrangea
Hydrangea macrophylla / Paraplu Bigleaf Hydrangea
Ilex 'Scullywag' / Scallywag Holly
Ilex 'Cherry Bomb' / Holly
Lonicera pileata / Box Honeysuckle
Loropetalum chinese 'Kurenai' / 'Jazz Hands' Dwarf Pink Chinese
Mahonia a. 'Compacta' / Oregon Grape
Paxistima myrtofolia / Oregon Boxwood
Physocarpus o. 'Diablo' / Diablo Ninebark
Pieris 'Prelude' / Dwarf Pieris
Prunus l. 'Mount Vernon' / Mount Vernon Laurel
Rosa rugosa 'Blanc de Double Coubert' / Ramanas Rose
Rhododendron 'Cunninghams White' / Rhododendron
Sambucus racemosa / Red Elderberry
Sambucus 'Suterland Gold' / Yellow Elderberry
Spiraea b. 'Gold Flame' / Gold Flame Spirea
Spiraea n. 'Snowmound' / Snowmound Spirea
Symphoricarpus albus / Common Snowberry
Taxus b. 'Repandens' / Spreading Irish Yew
Taxus media 'Hicksii' / Hicks Yew
Viburnum davidii / David's Viburnum
Viburnum tinus 'Spring Bouquet' / Viburnum

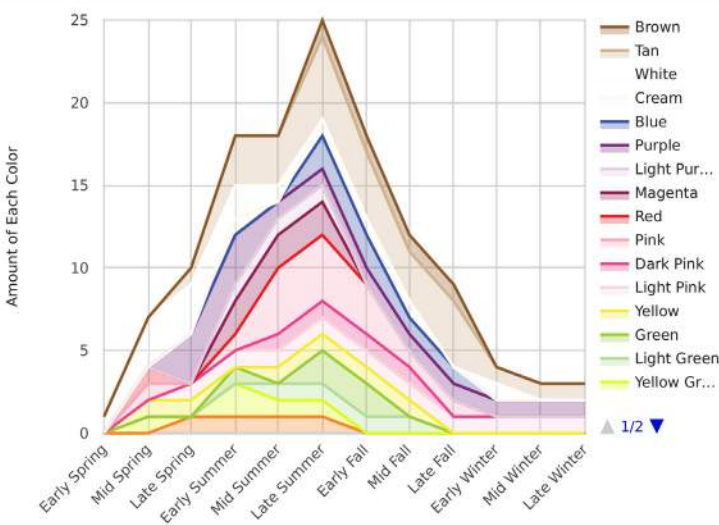
Perennials & Grasses

Acanthus mollis / Bears Breech
Allium sphaerocephalon / Drumstick Allium
Astilbe 'Deutschland' / White Astilbe
Carex testacea / Orange Carex
Calamagrostis a. 'Karl Foerster' / Feather Reed Grass
Chasmanthium latifolium / Sea Oats
Deschampsia cespitosa 'Northern Lights' / Northern Lights Turfted Hair Grass
Echinacea 'Glowing Dream' / Coneflower
Festuca glauca 'Beyond Blue' / Blue Fescue
Geum 'Totally Tangerine' / Tangerine Geum
Gaura l. 'Geyser White' / Geyser White Gaura
Helictotrichon sempervirens 'Saphirsprudel' / Sapphire Blue Oat Grass
Liriope muscari 'Big Blue' / Big Blue Liriope
Miscanthus sinensis 'Purpurascens' / Flame Maiden Grass
Miscanthus sinensis 'Adagio' / Maiden Grass
Miscanthus sinensis 'Yaku Jima' / Maiden Grass
Muhlenbergia reverchonii 'Autumn Embers' / Muhly Grass
Muhlenbergia reverchonii / Undaunted Robu Muhly Grass
Nassella tenuissima / Mexican Feather Grass
Ophiopogon japonicus / Dwarf Mondo Grass
Panicum virgatum 'Haense Herms' / Switch Grass
Panicum virgatum 'Heavy Metal' / Switch Grass
Salvia x sylvestris 'Mainacht' / May Night Salvia
Sesleria autumnalis / Automn Moor Grass
Stipa gigantea / Giant Feather Grass

SEASONAL LEAF INTEREST (TREES)



SEASONAL FLOWER INTEREST (SHRUBS AND GRASSES)



PLANT WATER USE (SHRUBS AND GRASSES)

